



OFFICE OF PLANNING
55 Trinity Avenue S.W., Suite 3350
Atlanta, Georgia 30303
(404) 330-6145

APPLICATION #: **V-16-212**
DATE ACCEPTED: **08/09/2016**

NOTICE TO APPLICANT

Address of Property:
1341 North Highland AVE NE

City Council District: **6** Neighborhood Planning Unit (NPU): **F**

Board of Zoning Adjustment (BZA) Hearing Date:

Thursday, October 6, 2016 at 12:00 p.m.

Council Chambers, 2nd Floor, City Hall
55 Trinity Avenue, S.W.

The contact person for NPU F is:

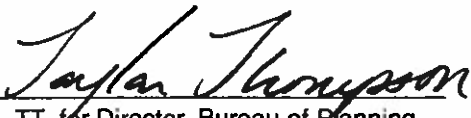
Charles Nalbone
404-376-3230
zoning@npufatlanta.org

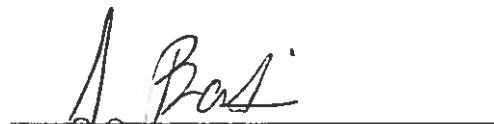
Contact info for adjacent NPUs is provided below if necessary:

Additional Contacts:

Please contact the person(s) listed above within two days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

Signed,


TT, for Director, Bureau of Planning


Jeffrey Baker



City of Atlanta
 Office of Buildings – Zoning Division
 55 Trinity Avenue, Suite 3900
 Atlanta, Georgia 30303
 Phone: 404-330-6175



REFERRAL CERTIFICATE

COUNCIL DISTRICT 6 APPLICATION NUMBER V-16-212
 NPU F DATE FILED 8-9-2016

Mr. Jeffery Baker
 Name of Applicant

BUILDING PERMIT AUTHORIZING
 Addition to Single-Family Dwelling

at 1341 North Highland AVE NE 17th/2
 Street Address Quadrant District & Land Lot

to be used for Single-Family Residential purposes
 The property is zoned R-4 (Single-Family Residential District) District

2. The Building Permit Was Denied For The Following Reasons:

Applicant seeks a variance from the zoning regulation to: (1) reduce the required eastern side yard setback from 7 feet to 3 feet; (2) increase the impervious lot coverage allowed from 50 percent to 60 percent - for the purpose of an addition to a single-family dwelling.

Applicant seeks no other variances at this time.


A complete plan review was not conducted.

Pending lot verification.

1982 ZONING ORDINANCE, AS AMENDED

Chapter 6 Section 16-06.008 Paragraph (2) (6)

Chapter _____ Section _____ Paragraph _____


 Plan Reviewer _____ Date 8/9/16


 Applicant _____ Date 8/9/16

APPLICATION FOR VARIANCE
City of Atlanta



Date Filed 8-9-16

Application Number V-16-212

Name of Applicant Jeffrey Baker Daytime Phone 404-351-1232

Company Name Jeffrey Bruce Baker Designs, LLC e-mail jeffrey@jeffreybrucebaker.com

Address 1123 Zenolite Rd. NE Sp 8b, Atlanta, GA 30306
street city state zip code

Name of Property Owner Jay Hibbard Phone _____

Address 1341 North Highland Ave NE Atlanta, GA 30307
street city state zip code

Description of Property

Address of Property 1341 North Highland Ave NE Atlanta, GA 30307 OR

the subject property fronts _____ feet on the _____ side of _____, and begins _____ feet from the _____ corner of _____.

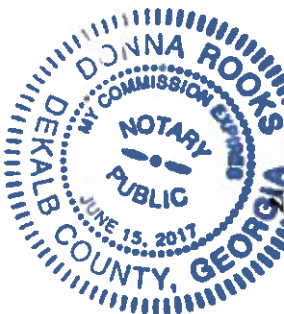
Depth: 148.58 Area: 7057.59 SF Land Lot: 2 District: 17th, Fulton County, GA.
0.162 AC

Property is zoned: R-4, Council District: 6, Neighborhood Planning Unit: F

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received an adverse order or requirement from the administrative officer in seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant variance(s).

I hereby authorize the staff of the Office of Planning to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Planning upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

Sworn To And Subscribed Before Me This 9th Day Of Aug, 2016.



Donna Roops
NOTARY PUBLIC

Jeffrey B. Baker
Owner or Agent for Owner (Applicant)
JEFFREY B. BAKER
APPLICANT'S NAME IN PRINTED LETTERS

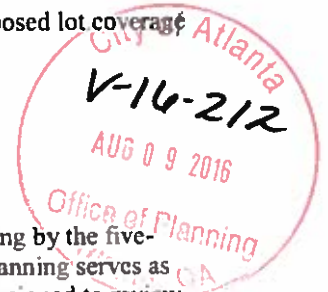
Summary of proposed changes to buildings or site (example: "Construct a 10-foot by 10-foot, one-story room addition on the first floor of the house.") Include square footages and stories:

Demolish kitchen and rear exterior wall, remove second floor master bath and foot region above bath. Pour concrete spread footing and add a 96-ft² kitchen addition into the rear yard. Add a steel dormer above the bath. Add a 572-ft² deck in the rear yard.

Proposed Lot Coverage (After Construction): Calculate total square footage of all lot coverage on the entire property after construction would be finished, including existing and proposed buildings and other structures, sidewalks, driveways, parking pads, patios, gravel, etc; everything except natural planted or undisturbed areas.

4232.59 covered square feet / 7057.59 total lot square feet = 60 % proposed lot coverage

50 % maximum allowed lot coverage



Variance Procedures

Variance applications are heard and decided at a regularly-scheduled public hearing by the five-member City of Atlanta Board of Zoning Adjustment ("BZA"). The Office of Planning serves as staff to the BZA. Approximately one week after each closing date, a planner is assigned to review your application. All inquiries regarding your application should be directed to this office at (404) 330-6145. The rules of the BZA prevent BZA members from discussing the merits of any case except during the public hearing for that case.

Schedule. There are two closing dates and two public hearings per month. The schedule allows time for neighborhood and NPU meetings to occur throughout the City prior to each public hearing. The schedule of closing and public hearing dates is attached (Page 9).

Neighborhood and NPU Recommendations. The City is divided into 24 Neighborhood Planning Units (NPU's), each of which has a volunteer citizen advisory committee that makes a recommendation to the BZA on variances. When you file your application, you will be notified of the NPU contact person and that you must schedule a meeting with that NPU in order to explain what you wish to do. You may be requested to attend additional neighborhood meetings; inquire about the time and place of those meetings. The applicant is expected to contact the NPU as soon as possible after the application is filed. The Office of Planning will send a copy of your application to the appropriate NPU during the week after the closing date for your application.

Public Notice. When you file your application, it will be scheduled for a public hearing. The Office of Planning will initiate posting of public notice ("an advertisement", "a legal ad") for this public hearing so that the public is informed at least 15 days before the date of the public hearing:

- by sending written notice of your application to all property owners whose property is within 300 feet of the subject property, and
- by causing public notice to be placed in the newspaper.

You are responsible for obtaining a public notice sign when you file your application with the Office of Planning, and for posting it in a visible location on your property, at least 15 days prior to your public hearing. Failure to properly post the sign will make it necessary for the BZA to defer your case to another public hearing. The BZA may defer the case to a hearing that has been scheduled 30 or more days after the original hearing.

Refunds on Withdrawn Cases. Requests for withdrawal received 18 days prior to the public hearing will enable a refund of the application fee.

Staff Recommendation. Office of Planning staff reviews and makes written recommendations to the BZA on each variance application. You may contact your assigned planner at (404) 330-6145 on the day of the public hearing if you wish to know staff's recommendation.

JEFFREY BRUCE BAKER
INTERIOR DESIGN | FURNISHINGS | ARCHITECTURE

1123 Zonolite Road NE
Suite 8B
Atlanta, GA 30306
404.351.1232

August 9, 2016

City of Atlanta
Department of Planning and Community Development
Office of Planning
55 Trinity Avenue, Suite 3350
Board of Zoning, & NPU F

Jeffrey Bruce Baker Designs, LLC
1123 Zonolite Road NE, STE 8b
Atlanta, GA 30309



**RE: Variance Justification Letter on behalf of Jay and Hiba Haider
For Property 1341 North Highland Ave. NE, Atlanta, GA 30307
Zoning R-4, Council District 6, NPU F**

Dear Review Board,

The property 1341 North Highland Ave. NE, Atlanta, GA 30307 has extraordinary and exceptional conditions because of its size and shape. The front length is 42.5' and the rear length is 39.89' in R-4 not meeting the minimum 70' street frontage for this zoning. The property area is 7057.59 SF in R-4 not meeting the minimum 9000 SF for this zoning.

Variance request is to move the left side (when looking from the street) east setback from 7ft to 3ft to remove the line from within the existing house built in 1925 and to allow for the addition of a 96 SF one story space off the rear of the house within the rear setback and the newly moved side setback. Request for lot coverage to be allowed at 60% instead of 50% to allow for a 572 SF deck to be built over an existing parking pad for exterior living space. Request to move the front north setback from 35ft to 28ft to remove the line from within the existing house built in 1925.

The application of the zoning ordinance of the City of Atlanta to this particular piece of property would create an unnecessary hardship because of the extraordinary small size of the property presents that the setback and lot coverage ratios impact the existing house to an extent that it cannot be altered and repaired to have a functional layout and provide for safe play areas for the family and their 2 year old daughter without the variance approval.

The conditions are peculiar to this piece of property because it does not meet the minimum requirements for this zone, it is the smallest piece of property in this zone, and where the majority of the other properties in this zone do not have these conditions so are not limited in constructing the same scope of renovations.

Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of the zoning ordinance of the City of Atlanta. It does not prevent securing safety from fire, panic and other dangers, limit access to adequate light and air, it does not require additional lot coverage therefore not changing existing flow and percolation on the property. It does promote desirable living conditions and value by both adding to sustaining stability of the neighborhood and protects against blight and depreciation.

Thank you for your review.


Jeffrey Baker, AIA

NOTARIZED AUTHORIZATION BY PROPERTY OWNER



(Required only if applicant is not the owner of the property subject to the application.)

TYPE OF APPLICATION Variance

I. Jay Haider (OWNER'S NAME)

SWEAR THAT I AM THE OWNER OF THE PROPERTY LOCATED AT 1341 N. Highland Ave NE Atlanta, GA 30307 (PROPERTY ADDRESS).

AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION.

NAME OF APPLICANT Jeffrey Baker, Jeffrey Bruce Baker Designs, LLC

ADDRESS OF APPLICANT 1123 Zonolite Road NE Suite 86, Atlanta, GA 30306

TELEPHONE NUMBER 404-351-1232

Signature of Owner [Handwritten Signature]

Personally Appeared Before Me: Jay Haider

Who Swears That The Information Contained In This Authorization Is True and Correct To The Best of His or Her Knowledge and Belief. [Handwritten Signature]

Notary Public [Handwritten Signature]
Date 8/8/16



RECEIPT

CITY OF ATLANTA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
55 TRINITY AVE SW, ATLANTA GA 30303
404-330-6070

Application: V-16-212
Application Type: Planning/BZA/Variance/NA
Address: 1341 NORTH HIGHLAND AVE NE, ATLANTA, GA 30306
Owner Name: PAYNE CHARLES S & VIVIANN C
Owner Address:
Application Name:

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
480918	2388	\$100.00	08/09/2016	RPLEWIS		

Owner Info.: PAYNE CHARLES S & VIVIANN C

Work Description: to reduce the required eastern side yard setback from 7 ft to 3 ft, to increase the impervious lot coverage allowed from 30 percent to 60 percent

PAID
CITY OF ATLANTA
AUG 09 2016
EX OFFICIO MUNICIPAL
REVENUE COLLECTOR

RENOVATION CONSTRUCTION

SINGLE FAMILY RESIDENTIAL

1341 N. HIGHLAND AVE NE
ATLANTA, GA 30307

PROJECT DIRECTORY

HOME OWNER: HBA AND JET HAIDER
 ARCHITECT: JEFFREY BRUCE BAKER DESIGN, LLC
 CONTACT: JEFFREY BRUCE, P.E., ASO
 1123 ZONOLITE ROAD NE, SUITE B8
 ATLANTA, GA 30307
 404-551-1232 WWW.JEFFREYBRUCEBAKER.COM

SITE PLUM:
 SURVEY LAND EXPRESS, INC.
 CONTACT: ERIC G. A. STANWAY
 70 LORRAINE PARK
 ATLANTA, GA 30341
 404-324-3477 INFO@SURVEYLANDPRESS.COM

PROJECT CRITERIA

SOURCE TOUGHNESS CRITERIA:

1148	UNFINISHED BASEMENT	
507	FF FINISHED BASEMENT	
507	FF FINISHED LEVEL 01	
507	FF FINISHED LEVEL 02	
507	FF FINISHED LEVEL 02 - NO CHANGE IN FT LEVEL 02	

TOTAL CONDITIONED: 2051 SF
 NUMBER OF STORIES IN BUILDING: 3, BASEMENTS, CREWROOM LEVEL 01, LEVEL 02
 3 BEDROOMS, 2 FULL BATHS, 1 HALF BATH, 1 KITCHEN
 5 ROOMS TOTAL

TYPE OF CONSTRUCTION: F-8
 SCHEDULE: RESIDENTIAL
 SPRAWLED (YES/NO): NO

PERMITS REQUIRED

BUILDING PERMIT
 ELECTRICAL
 PLUMBING

SCOPE OF WORK

DOUGHnut LEVEL ONE WIDEN AND REAR EXTERIOR WALKWAY WALL
 REAR SECOND FLOOR MASTER BATH AND ROOF REZON ABOVE BATH
 POUR CONCRETE SPREAD FOOTING AND 400 A 16 1/2 FT STITCH ADDITION
 INTO THE REAR YARD. EXPOSE SECOND FLOOR BATH CEILING HEIGHT
 BY REMOVING A SHED DOWNSTAIRS AND REAR ROOF REZON WITH PERMIT
 AND RELOCATE ELECTRICAL, PLUMBING, AND FINISH THROUGHOUT BATH
 ROOMS.

APPLICABLE CODES

INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
 INTERNATIONAL FIRE CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014)
 INTERNATIONAL MECHANICAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
 INTERNATIONAL PLUMBING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS (2014) (2015)
 NATIONAL ELECTRICAL CODE, 2014 EDITION (NO GEORGIA AMENDMENTS)
 INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION, WITH GEORGIA SUPPLEMENTS
 AND AMENDMENTS (2011) (2012)

WINDOW SCHEDULE

UNIT #	UNIT SIZE (W x H)	DESCRIPTION	TAMPERED
LEVEL 01	25' x 27'	DOUBLE HUNG	YES
2	25' x 27'	FIXED	NO
3	27' x 27'	OPERABLE SPLIT/WT	UNAMBITED

INSULATION VALUES - ZONE 3

ALL CEILING AREAS	R-30
1) FLOOR - R-30	
2) FLOOR - R-19	
3) FLOOR - R-19	
4) BASEMENT WALL - R - 14 UNFINISHED	
5) FLOOR BEFORE BASEMENT - R-30	
6) FOUNDATION - R-20 U	
7) SILLINGS - R-20 U	

SOUND INSULATION

1) SOUND ATTENUATION INSULATION BARRIERS TO BE USED CONTINUOUSLY BETWEEN THE FIRST AND SECOND FLOOR BELOW BATHROOM FLOOR, IN ALL BATHROOM WALLS, AND WRAPPING ALL DRAIN PIPES.

CERTIFICATE

401.3 CERTIFICATE. A PERMANENT CERTIFICATE SHALL BE PROVIDED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL IDENTIFYING THE LOCATION AND TYPE OF ALL LOW VOLTAGE BATTERY RECHARGEABLE BATTERY STORAGE SYSTEMS INSTALLED IN THE BUILDING. THE CERTIFICATE SHALL LIST THE MODEL AND VOLTAGE OF ALL BATTERIES INSTALLED IN THE BUILDING. THIS CERTIFICATE SHALL BE PROVIDED TO THE ARCHITECT FOR REVIEW AND SIGNATURE. THE CERTIFICATE SHALL BE PROVIDED TO THE ARCHITECT FOR REVIEW AND SIGNATURE. THE CERTIFICATE SHALL BE PROVIDED TO THE ARCHITECT FOR REVIEW AND SIGNATURE.

FRAMING NOTES

1) ALL DIMENSIONS SHALL BE NOTED IN THE FIELD.
 2) ANY DISCREPANCY FOUND OVER 1" SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION.
 3) UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE PROVIDED AS PLACED FROM FINISH FACE OF STRUCTURAL WALL TO SURFACE OF STUD AS NOTED.
 4) ALL FINISH DIMENSIONS SHALL BE PROVIDED FROM THE FINISH FACE OF THE FINISH MATERIAL ON THE FLOOR LEVEL. THE NOTE IS WRITTEN ON THE FLOOR LEVEL.
 5) ALL WALLS UNLESS OTHERWISE NOTED SHALL BE 2x4.
 6) ALL WALLS UNLESS OTHERWISE NOTED SHALL BE TYPICAL. ANY WOOD TYPING CONCRETE SHALL BE TYPICAL OR SPECIFIED WITH AN APPROVED SUBSTITUTION MATERIAL.

CONSTRUCTION NOTES

1. ALL DIMENSIONS SHALL BE NOTED IN THE FIELD.
 2. ANY DISCREPANCY FOUND OVER 1" SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION.
 3. UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE PROVIDED AS PLACED FROM FINISH FACE OF STRUCTURAL WALL TO SURFACE OF STUD AS NOTED.
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GENERAL NOTES

1. THE SCOPE OF WORK IN THIS PACKAGE IS FOR THE DESIGN AND CONSTRUCTION OF A SINGLE FAMILY RESIDENTIAL REPAIR AND ADDITION.
 2. ALL WORK SHALL CONFORM TO THE LATEST ADOPTED CODES AS LISTED ON THIS SHEET UNDER THE APPROPRIATE SECTION.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE ADJACENT PROPERTY AND SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FROM THE CITY OF ATLANTA.
 4. ALL DIMENSIONS SHALL BE NOTED IN THE FIELD.
 5. UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE PROVIDED AS PLACED FROM FINISH FACE OF STRUCTURAL WALL TO SURFACE OF STUD AS NOTED.
 6) ALL FINISH DIMENSIONS SHALL BE PROVIDED FROM THE FINISH FACE OF THE FINISH MATERIAL ON THE FLOOR LEVEL. THE NOTE IS WRITTEN ON THE FLOOR LEVEL.
 7) ALL WALLS UNLESS OTHERWISE NOTED SHALL BE 2x4.
 8) ALL WALLS UNLESS OTHERWISE NOTED SHALL BE TYPICAL. ANY WOOD TYPING CONCRETE SHALL BE TYPICAL OR SPECIFIED WITH AN APPROVED SUBSTITUTION MATERIAL.

LINE ITEM OPTIONAL UPGRADES

LINE ITEM	UNIT	QUANTITY	DESCRIPTION	FINISH	MARKET / BRAND	NOTE	RATING	TYPE
01	2x6	1	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED		A
02	2x6	1	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED		B
03	2x6	1	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED		C
04	2x6	1	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED		D

DOOR SCHEDULE

UNIT #	UNIT SIZE (W x H)	DESCRIPTION	FINISH	MARKET / BRAND	NOTE	RATING	TYPE
01	2x6	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED		A
02	2x6	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED		B
03	2x6	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED		C
04	2x6	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED	WOOD / FINISHED		D

RENOVATION

1341 N. HIGHLAND AVE NE
 ATLANTA, GA 30307

TITLE SHEET: HAIDER

REVISIONS:

DATE	REMARKS
06/16/18	OWNER PERMIT REV

PRINT RECORD

DATE: 06/16/18
 OWNER: PERMIT REV

JEFFREY BRUCE BAKER DESIGN, LLC
 1123 ZONOLITE ROAD, NE, SUITE B8, ATLANTA, GA 30306
 WWW.JEFFREYBRUCEBAKER.COM

JBBD, LLC
 JOB NO.: HAIDER
 SHEET NO.: A0.1

NOT ISSUED FOR CONSTRUCTION

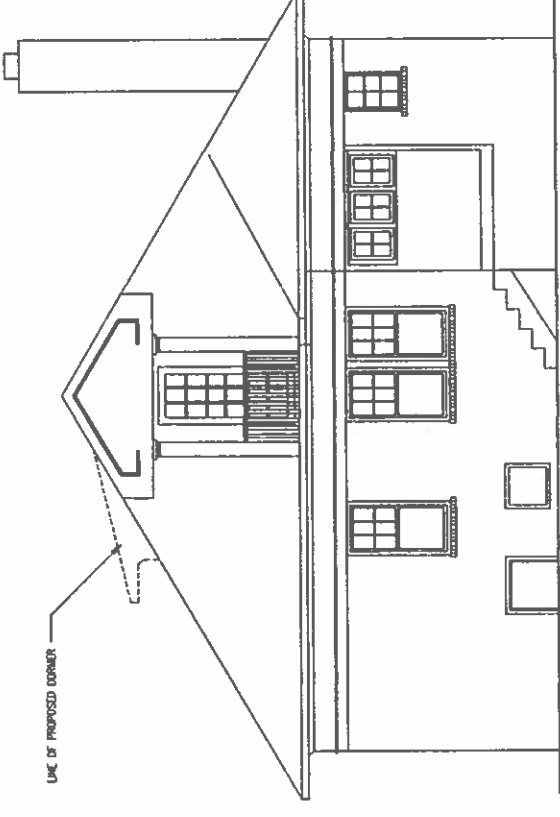
DRAWING INDEX

SURVEY LAND EXPRESS: DESIGN/SITE PLAN
 A0.1 TITLE SHEET
 A1.1 EXISTING CONDITIONS / EXISTING PLANS AND ELEVATIONS
 A1.2 PROPOSED PLANS AND EXTERIOR ELEVATIONS
 A1.3 INTERIOR ELEVATIONS AND FINISH PLANS
 A1.4 WINDOW ELEVATIONS AND TRUSS PLANS

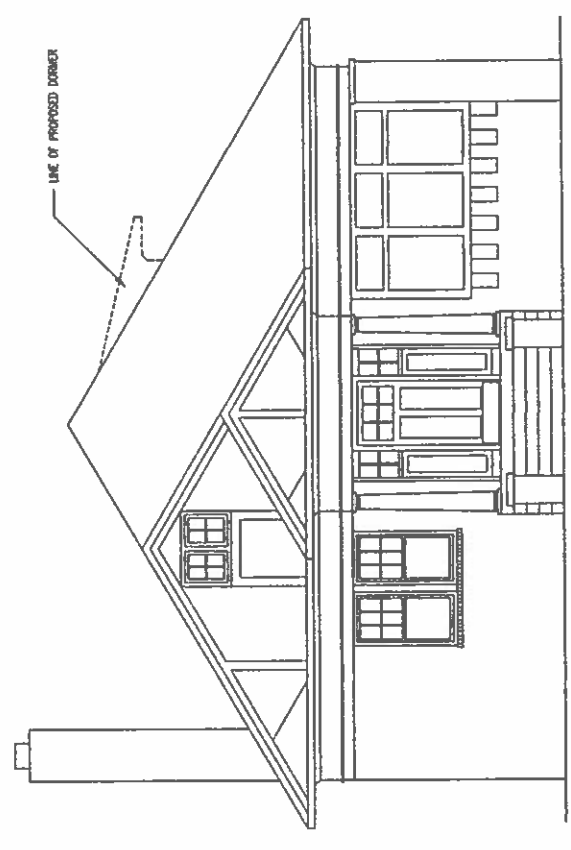
DATE	REVISIONS	REMARKS
06/16/16	OWNER PRELIMINARY	

DATE	####/##/##
JOB NO.	HAIDER
SHEET NO.	A1.1

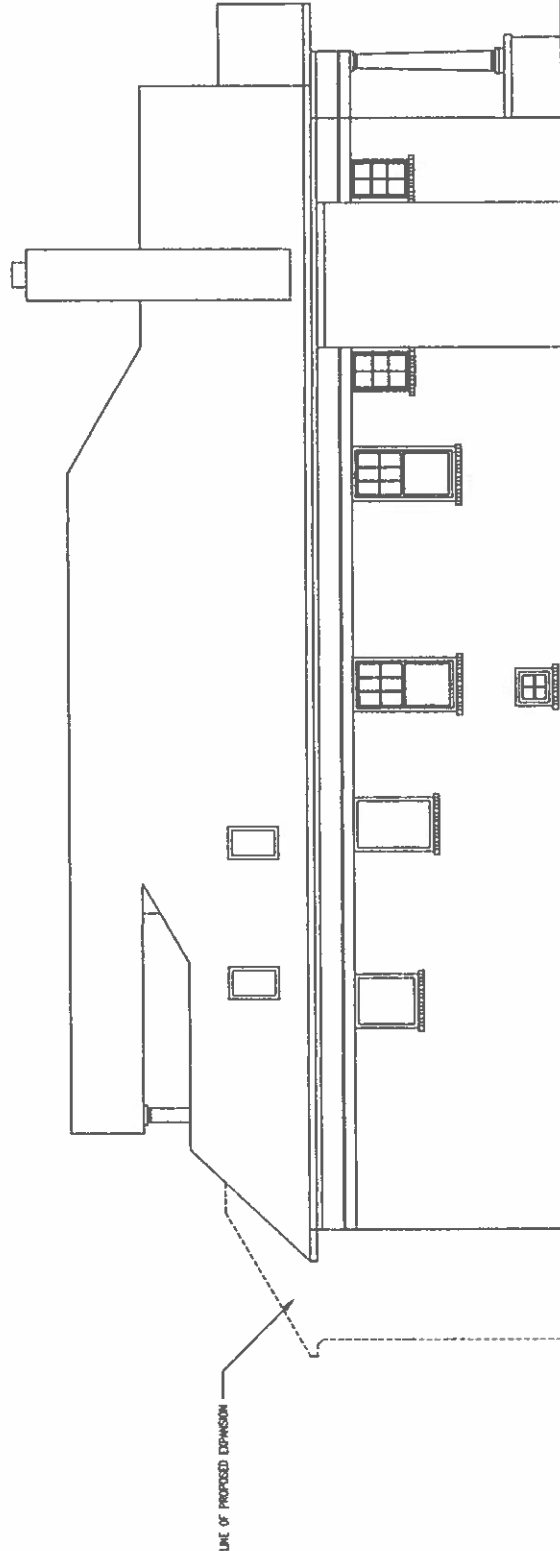
EXISTING CONDITIONS / DEMO PLANS AND ELEVATIONS
 HAIDER
 1341 N. HIGHLAND AVE NE
 ATLANTA, GA 30307
 NOT ISSUED FOR CONSTRUCTION



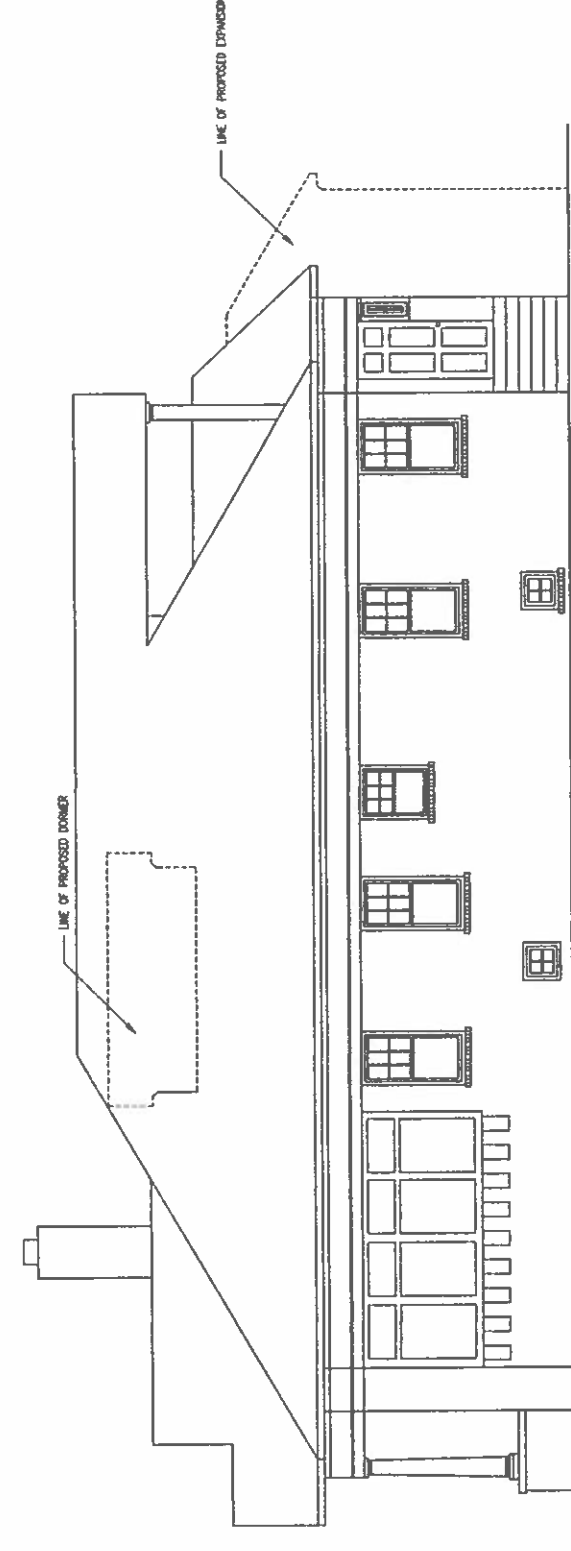
5 REAR EXISTING ELEVATION
SCALE 1/4" = 1'-0"



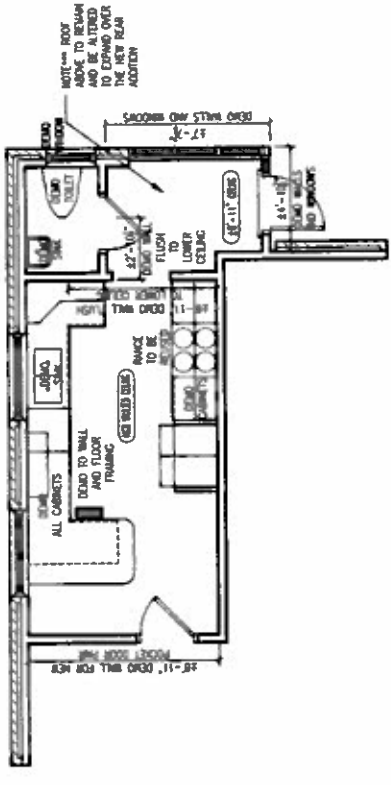
3 FRONT EXISTING ELEVATION
SCALE 1/4" = 1'-0"



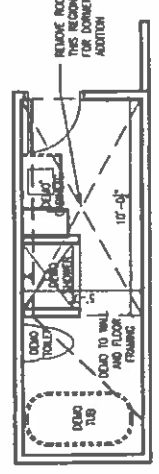
6 LEFT SIDE EXISTING ELEVATION
SCALE 1/4" = 1'-0"



4 RIGHT SIDE EXISTING ELEVATION
SCALE 1/4" = 1'-0"



1 FIRST FLOOR KITCHEN EXISTING AND DEMO PLAN
SCALE 1/4" = 1'-0"



2 SECOND FLOOR BATH EXISTING AND DEMO PLAN
SCALE 1/4" = 1'-0"

PRINT RECORD	DATE	REMARKS
06/16/16	OWNER FINAL REV	

REVISIONS	DATE	REMARKS

DATE	REVISIONS

INTERIOR ELEVATIONS AND FINISH PLANS

HAIDER

1341 N. HIGHLAND AVE NE
 ATLANTA, GA 30307

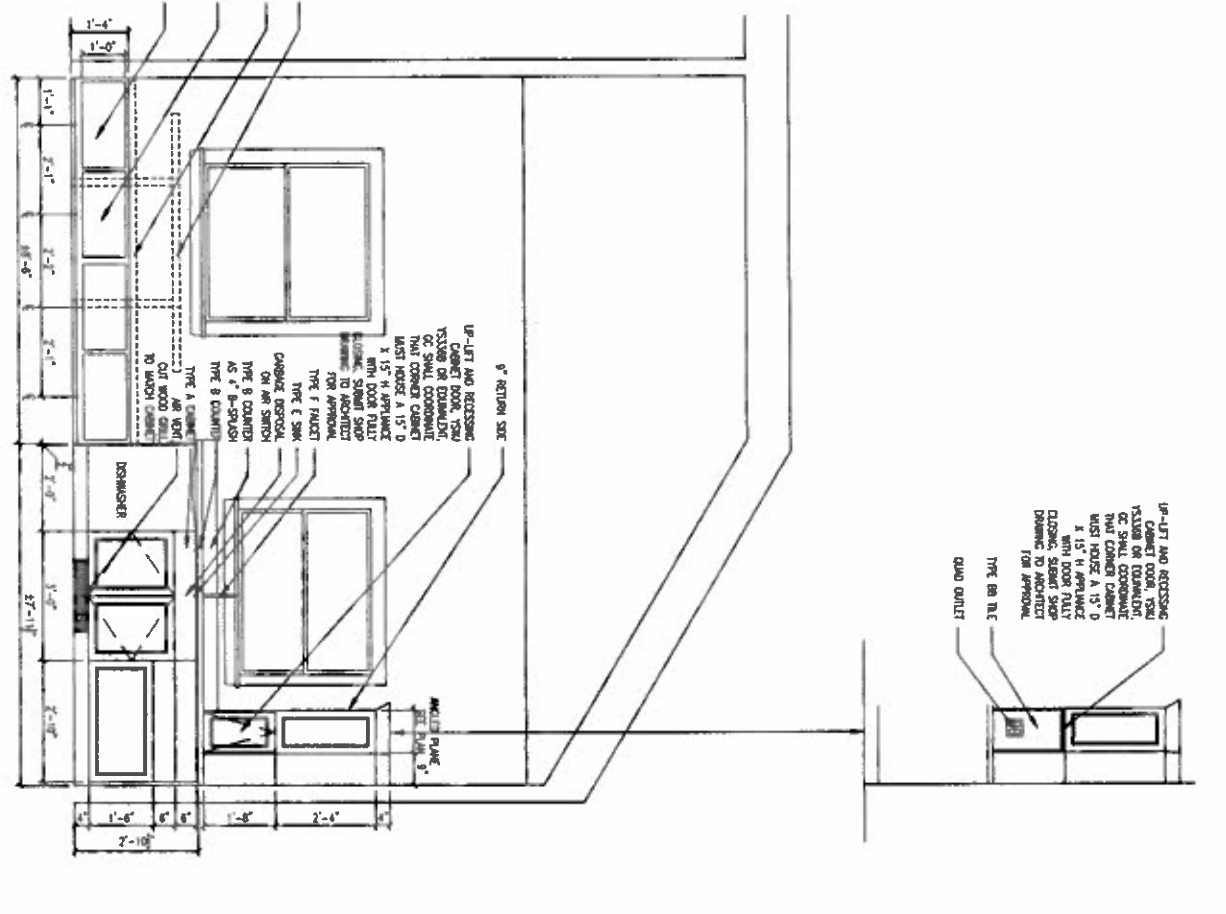
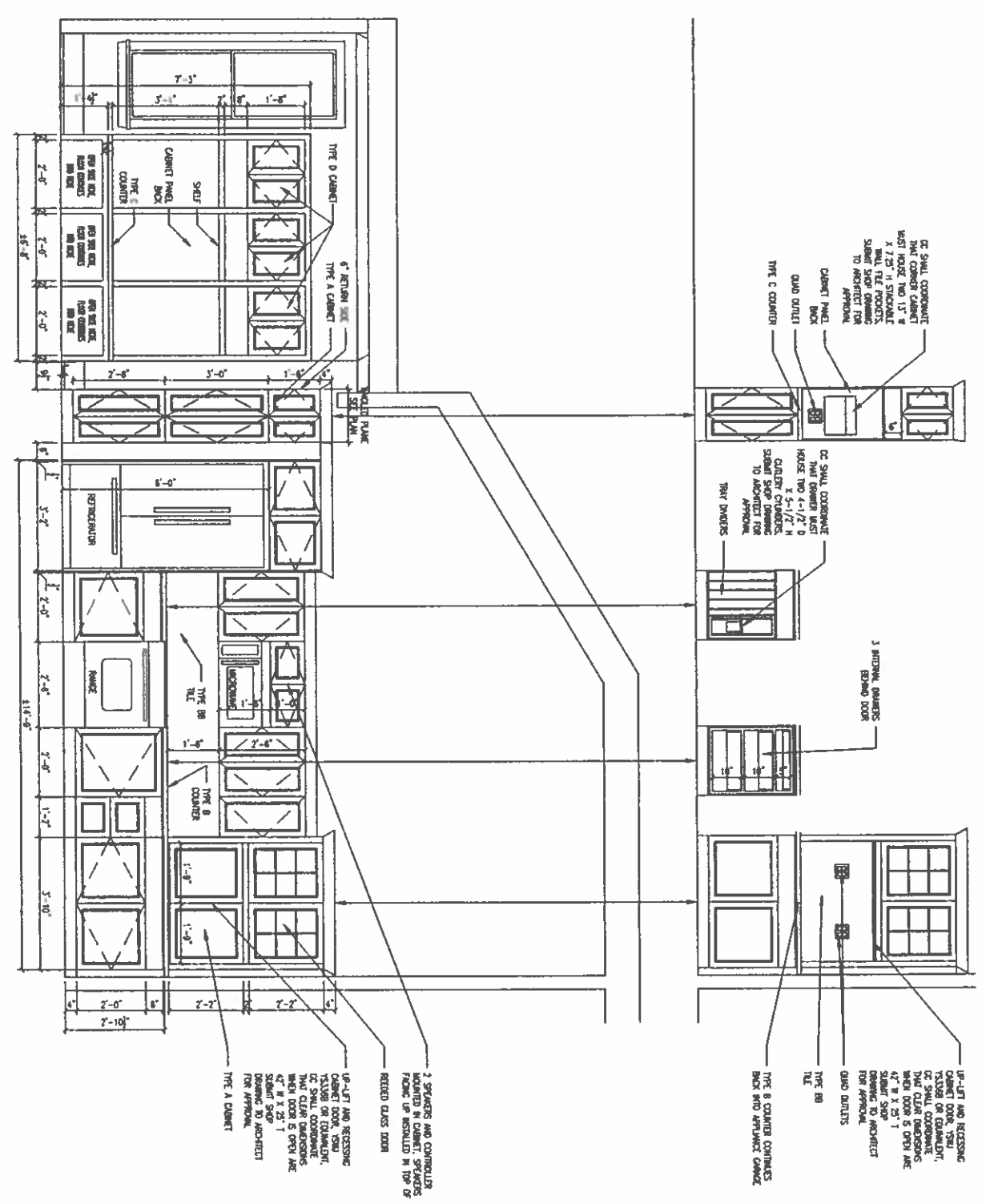
RENOVATION
 SINGLE FAMILY RESIDENTIAL

NOT ISSUED FOR CONSTRUCTION

DATE: #####/#####/####

JOB NO: HAIDER

SHEET NO: A1.3



2 KITCHEN ELEVATION
 SCALE: 1/8" = 1'-0"

1 KITCHEN ELEVATION
 SCALE: 1/8" = 1'-0"

JEFFREY BRUCE BAKER
INTERIOR DESIGN & ARCHITECTURE

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JEFFREY BRUCE BAKER DESIGN, LLC (JBBALLC)
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OF ANY KIND, RESALE AND/OR REUSE WITHOUT WRITTEN
PERMISSION FROM JBBALLC IS PROHIBITED.

PRINT RECORD

DATE REMARKS

06/16/16 OWNER POINT REV

REVISIONS

DATE REMARKS

DATE	REMARKS

INTERIOR ELEVATIONS AND FINISH PLANS

HAIDER

RENOVATION 1341 N. HIGHLAND AVE NE
SINGLE FAMILY RESIDENTIAL ATLANTA, GA 30307

NOT ISSUED FOR CONSTRUCTION

DATE #####

JOB NO. HAIDER

SHEET NO.

A1.4

