



OFFICE OF PLANNING
55 Trinity Avenue S.W., Suite 3350
Atlanta, Georgia 30303
(404) 330-6145

APPLICATION #: **V-17-037**

DATE ACCEPTED: **02/15/2017**

NOTICE TO APPLICANT

Address of Property:
1062 Maryland AVE NE

City Council District: **6** Neighborhood Planning Unit (NPU): **F**

Board of Zoning Adjustment (BZA) Hearing Date: **APRIL 13, 2017**
at **12:00 p.m.**

Council Chambers, 2nd Floor, City Hall
55 Trinity Avenue, S.W.

The contact person for NPU F is:

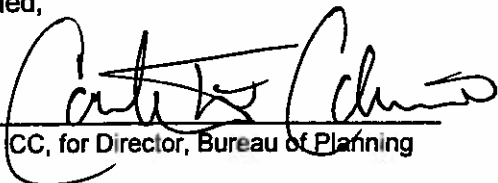
Charles Nalbone
404-376-3230
zoning@npufatlanta.org

Contact info for adjacent NPUs is provided below if necessary:

Additional Contacts:

Please contact the person(s) listed above within two days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

Signed,



CC, for Director, Bureau of Planning



Mark Arnold



Office of Planning

FEB 15 2017

CITY OF ATLANTA

Office of Buildings - Zoning Division
55 TRINITY AVENUE, SUITE 3900
Atlanta, Georgia 30303
404-330-6175

65 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

REFERRAL CERTIFICATE

COUNCIL DISTRICT 6 APPLICATION NUMBER V-17-037
NPU F DATE FILED 2/15/17

1. Mark F. Arnold
Name of Applicant

BUILDING PERMIT AUTHORIZING 2nd story addition

at 1062 Maryland Avenue NE 17th/1
Street Address Quadrant District & Land Lot

to be used for Residential purposes

The property is zoned R-4 District

2. The Building Permit Was Denied For The Following Reasons:

Applicant seek a variance from the zoning regulation to (1) reduce the required front yard setback from 35 feet to 24.4 feet. (2) Reduce the south side yard setback from 7 feet to 2.66 feet in order to construct a second story addition.

Applicant seeks no other variances at this time.

Complete plan review was not conducted

Pending Lot acknowledgement

1982 ZONING ORDINANCE, AS AMENDED

Chapter 6 Section 16-06.008 Paragraph 1

Chapter 6 Section 16-06.008 Paragraph 2

Chapter _____ Section _____ Paragraph _____

Matthew Lane
Plan Reviewer Date 2-15-17

Mark F. Arnold
Applicant Date 2/15/17

APPLICATION FOR BOARD OF ZONING ADJUSTMENT

Please mark "X" next to the type of application(s) you are submitting:

Variance	<input checked="" type="checkbox"/>
Special Exception	<input type="checkbox"/>
Variance & Special Exception	<input type="checkbox"/>

Date Filed 2/15/17

Application Number 17-17-037

Name of Applicant Mark F Arnold Daytime Phone (404) 939-3690

Company Name (if applicable) Mark Arnold, Architect email markarnoldarchitect@gmail.com

Address 1126 N Highland Ave, NE Atlanta GA 30306
street city state zip code

Name of Property Owner Rebecca Finnin Phone (678) 451-3468

Address 1062 Maryland Ave, NE Atlanta GA 30306
street city state zip code

Description of Property

Address of Property 1062 Maryland Ave, NE Atlanta GA 30306
street city state zip code

Area: _____ Land Lot: 1 District: 17, Fulton County, GA.

Property is zoned: R4, Council District: 06, Neighborhood Planning Unit (NPU): F

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received an adverse order or requirement from the administrative officer in seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

FEB 15 2017

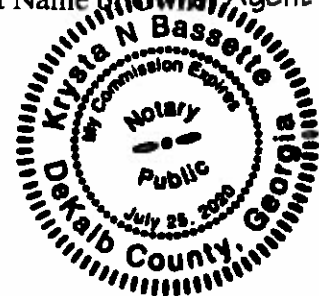
55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

Sworn To And Subscribed Before Me This 13 Day Of FEB, 20 17.

NOTARY PUBLIC

Mark F Arnold
Owner or Agent for Owner (Applicant)

Mark F Arnold
Print Name of Owner Agent



SUMMARY & JUSTIFICATION FOR VARIANCES

Directions: Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. The justification must address these criteria. Please submit a typewritten or legible justification.

State whether the property described in this application is subject to a pending application or ordinance for a Rezoning or Special Use Permit. YES NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor.)

Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria). (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

Renovation and expansion of single family home to include approximately 85 sf first floor addition, screened porch addition, and 1,521sf 4BR/3BA second floor addition within a reconfigured roof line.

Proposed Lot Coverage (After Construction): Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

3,910 covered square feet / 7,650 total lot square feet = 49.8 % proposed lot coverage

50 % maximum allowed lot coverage

Variance Criteria (see page 6 for detailed criteria):

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? (see attached justification)
- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? (see attached justification)
- 3) What conditions are peculiar to this particular piece of property? (see attached justification)
- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. (see attached justification)

Skippy Nguyen & Rebecca Finnin

1062 Maryland Ave, NE
Atlanta, Georgia 30306
(678) 451-3468
skippy@chefwin.com

V-17-037 Office of Planning

February 13, 2017

FEB 15 2017

City of Atlanta
Department of Planning and Community Development
Bureau of Planning, Current Planning Division
55 Trinity Avenue, Suite 3350
Atlanta, GA 30335

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

re: 1062 Maryland Ave, NE 30306

Planning Staff:

We wish to renovate and expand our home at 1062 Maryland Ave, NE. We plan remodel the first floor, add a screened porch at the back of the house, and reconfigure the roof in order to add living space on the second floor. Some of this space will be located above portions of the house that currently encroach into the required front and side yard setbacks. It is our understanding that this portion of the work necessitates a variance to reduce these setbacks from what is required by the zoning ordinance to what is actually built. Therefore, we request that the front-yard setback be reduced from the required 35 feet to 24.4 feet and the ~~side~~ side-yard setback be reduced from the required 7 feet to 2.66 feet. We offer the following items in support of our variance request:

- Variance Application
- Survey
- Referral Certificate
- Proposed Floor Plans & Elevations

The subject property is zoned R-4. We believe the property meets the variance criteria laid out in Section 16-26.003 in the Zoning Guidelines in the following ways:

Extraordinary/Exceptional Conditions Pertaining to the Property because of its Size/Shape

The street frontage of our lot is 50 feet versus the required minimum width of 70 feet and the area of our lot is 7,650 sf versus the required minimum area of 9,000 sf. To the best of our knowledge, these features have been in place since the house was built in 1922.

The Application of the Zoning Ordinance to this Property would create an Unnecessary Hardship

Our renovation and expansion plans have been designed with the goal of preserving ample backyard space and maintaining the historic look of the existing house.

The existing roof will be removed and reframed in order to build-out of a four-bedroom/three-bath second floor addition. The two front bedrooms will be partially located over the existing front porch and, consequently, be located within the required front-yard setback. A small portion of the roof on the south side of the house will be reframed and the area under that roof will be used for attic storage. This area is above the portion of the first floor that encroaches into the south side-yard setback. The application of the required 35 foot front yard and 7 foot side yard setbacks would create an unnecessary hardship in that it would prevent us from expanding our home in an efficient and pragmatic manner.

Such conditions are peculiar to the particular piece of property involved

Many of the lots in Virginia-Highland have features that are in conflict with the current zoning ordinance. The specific deficiencies of this lot include the street frontage of 50 feet versus the required 70 feet and the lot area of 7,650 SF versus the required 9000 SF.

The Variance would not cause substantial detriment to the public good or impair the purpose and intent of the Zoning Ordinance of Atlanta

Relief, if granted, will not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. Relief, if granted, will not distract from people's use and enjoyment of adjoining and surrounding properties. The proposed construction is in harmony with construction on neighboring lots, and allows for adequate light and air. We believe the proposed construction is in keeping with the orderly evolution of this neighborhood and will promote desirable living conditions for the homeowner as well as the neighborhood.

Thank you for your consideration in this request.

Sincerely,

Skippy Nguyen & Rebecca Finnin

Office of Planning

FEB 15 2017

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

V-17-037

V-17037

AUTHORIZATION BY PROPERTY OWNER

(Required only if the applicant is not the owner of the property subject to the proposed application.)

(Please Print Clearly)

I, Rebecca Finnin (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT 1062 Maryland Ave, NE (PROPERTY ADDRESS), AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

NAME OF APPLICANT:

LAST NAME Arnold FIRST NAME Mark

ADDRESS 1126 N. Highland Ave, NE SUITE _____

CITY Atlanta STATE GA ZIP CODE 30306

OWNER'S TELEPHONE NUMBER: 678.451.3468

[Signature]
SIGNATURE OF OWNER

Rebecca Finnin
PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
NOTARY PUBLIC
2-1-17

DATE



Office of Planning

FEB 15 2017

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

RECEIPT

CITY OF ATLANTA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
55 TRINITY AVE SW, ATLANTA GA 30303
404-330-6070

PAID
CITY OF ATLANTA

FEB 15 2017

EX OFFICIO MUNICIPAL
REVENUE COLLECTOR

Application: V-17-037
Application Type: Planning/BZA/Variance/NA
Address: 1062 MARYLAND AVE NE, ATLANTA, GA 30306
Owner Name: Rebecca Finnin
Owner Address:
Application Name:

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
508353		\$100.00	02/15/2017	PAMITCHELL		

Owner Info.: Rebecca Finnin

Work Description: Variance to reduce front yard from 35 to 24.4 feet and south side yard from 7 feet to 2.66 feet to construct second story addition

CITY OF ATL BLDG PERM
55 TRINITY AVE STE 1350
ATLANTA, GA 30303
02 15 2017

CREDIT CARD 12:09:24
DISCVR SALE

Card # XXXXXXXXXXXX2877
Chip Card Discover Credit
AID: A0000001523010
ATC: 001A
TC: 8A965150A5F311FE
SEQ #: 9
Batch #: +6
INVOICE 9
Approval Code: 01575R
Entry Method: Chip Read
Mode: Issuer

SALE AMOUNT \$200.00

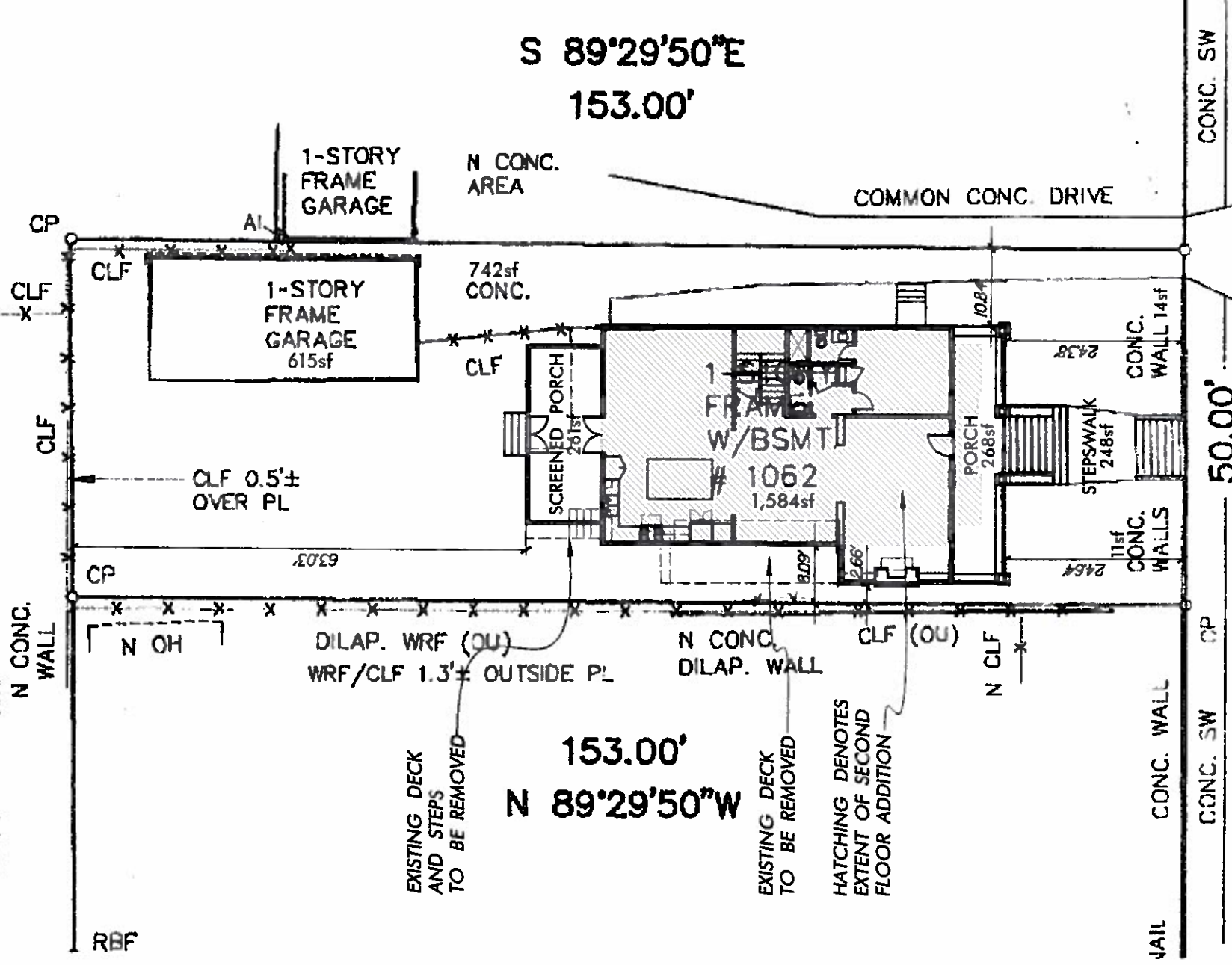
CUSTOMER COPY

ARCHITECTURAL SITE PLAN 00'05'26"E

1" = 20'-0"



50.00'



S 89°29'50"E
153.00'

N 89°29'50"W
153.00'

S 00°05'26"W

MARYLAND AVENUE ~ 50' R/W

OWNER

TRUNG 'SKIPPY' NGUYEN & REBECCA FINNIN
1062 MARYLAND AVE, NE
ATLANTA, GA 30306
(678) 451-3468
skippy@chefwin.com

ARCHITECT

MARK ARNOLD, ARCHITECT
1126 N. HIGHLAND AVENUE, NE
ATLANTA, GA 30306
404-939-3690
intownarchitect@gmail.com
Georgia Registration RA008398

CONTRACTOR

TO BE DETERMINED

PROPERTY DATA

R-4 (SINGLE FAMILY RES) DISTRICT,
16-06 City of Atlanta Zoning Ordinance
LAND LOT 1, 17th DISTRICT
FULTON COUNTY, GEORGIA

E.G. DAVIS

REGISTERED LAND SURVEYOR
LICENSE NO. 2363, PLAT DATE 07/18/03

ZONING ANALYSIS

R-4 (SINGLE FAMILY RES) DISTRICT,
SECTION 16-06 City of Atlanta Zoning Ordinance

- 1) Minimum lot area: 9,000 SF
Existing: 7,650 SF (0.170± ACRES)
- 2) Minimum lot frontage: 70 feet
Existing: 50 feet
- 3) Maximum Floor Area Ratio: 50%
Existing: 18.6% (1,422sf/7,650sf=0.1859)

Proposed: 46.8% (3,582sf/7,650sf=0.4682)
First Floor 1,507sf+Second Floor 1,521sf
+Attic 554 divided by Lot Area 7,650sf

4) Maximum lot coverage: 50%
Existing: 49.8% (3,910sf/7,650sf=0.4980)
House Footprint 1,509sf+Driveway 742sf
+Garage 615sf+Conc. Terrace 186sf
+Front Porch 268sf+Steps/Walk 248sf
+Deck 217sf+Walls 25sf divided by Lot Area

Proposed: 48.9% (3,743sf/7,650sf=0.4893)
House Footprint 1,584sf+Driveway 742sf
+Garage 615sf+Screened Porch 261sf
+Front Porch 268sf+Steps/Walk 248sf
+Walls 25sf divided by Lot Area 7,650sf

5) Minimum depth front yard: 35 feet
Existing: 31.7'
Proposed: 24'

6) Minimum width north side yard: 7 feet
Existing: 10.8'
Proposed: NO CHANGE

7) Minimum width south side yard: 7 feet
Existing: 2.7'
Proposed: NO CHANGE

8) Minimum depth rear yard: 15 feet
Existing: 73'
Proposed: 63'

9) Maximum building height: 35 feet
Existing: 22.3' (24+20+22+23/4=22.3)
Proposed: 34' (36.3+32.8+34+33/4=34)

Office of Planning

N-17-037
FEB 15 2017

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

APPLICABLE CODES

International Residential Code, 2012 Ed.
with Georgia Amendments 2014 and 2014 Prescriptive Deck Details
International Plumbing Code, 2012 Ed with Georgia Amendments 2014
International Mechanical Code, 2012 Ed. with Georgia Amendments 2014
International Fuel Gas Code, 2012 Ed. with Georgia Amendments 2014
National Electrical Code, 2011 Ed
International Energy Conservation Code, 2009 Ed.,
with Georgia Supplements and Amendments (2011/2012)

DRAWING INDEX

- A-0.00 COVER SHEET, ZONING ANALYSIS, ARCHITECTURAL SITE PLAN
- A-0.01 EXISTING SURVEY
- A-1.01 EXISTING & PROPOSED 1st FLOOR PLANS
- A-1.02 PROPOSED 2nd FLOOR PLAN
- A-1.03 EXISTING & PROPOSED ROOF PLANS
- A-2.01 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-2.02 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-2.03 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-2.04 EXISTING & PROPOSED EXTERIOR ELEVATIONS



LAND AREA: 0.17 AC

PROPERTY ADDRESS: 1062 MARYLAND AVENUE

PLAT PREPARED FOR:

LEIGH ANN MCDUGAL

LOT	BLOCK	UNIT
SUBDIVISION		
LAND LOT 1	17TH DISTRICT	SECTION
FULTON COUNTY, GEORGIA		DATE JULY 18, 2003
PLAT BOOK	PAGE	ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED
DEED BOOK 30227	PAGE 321	

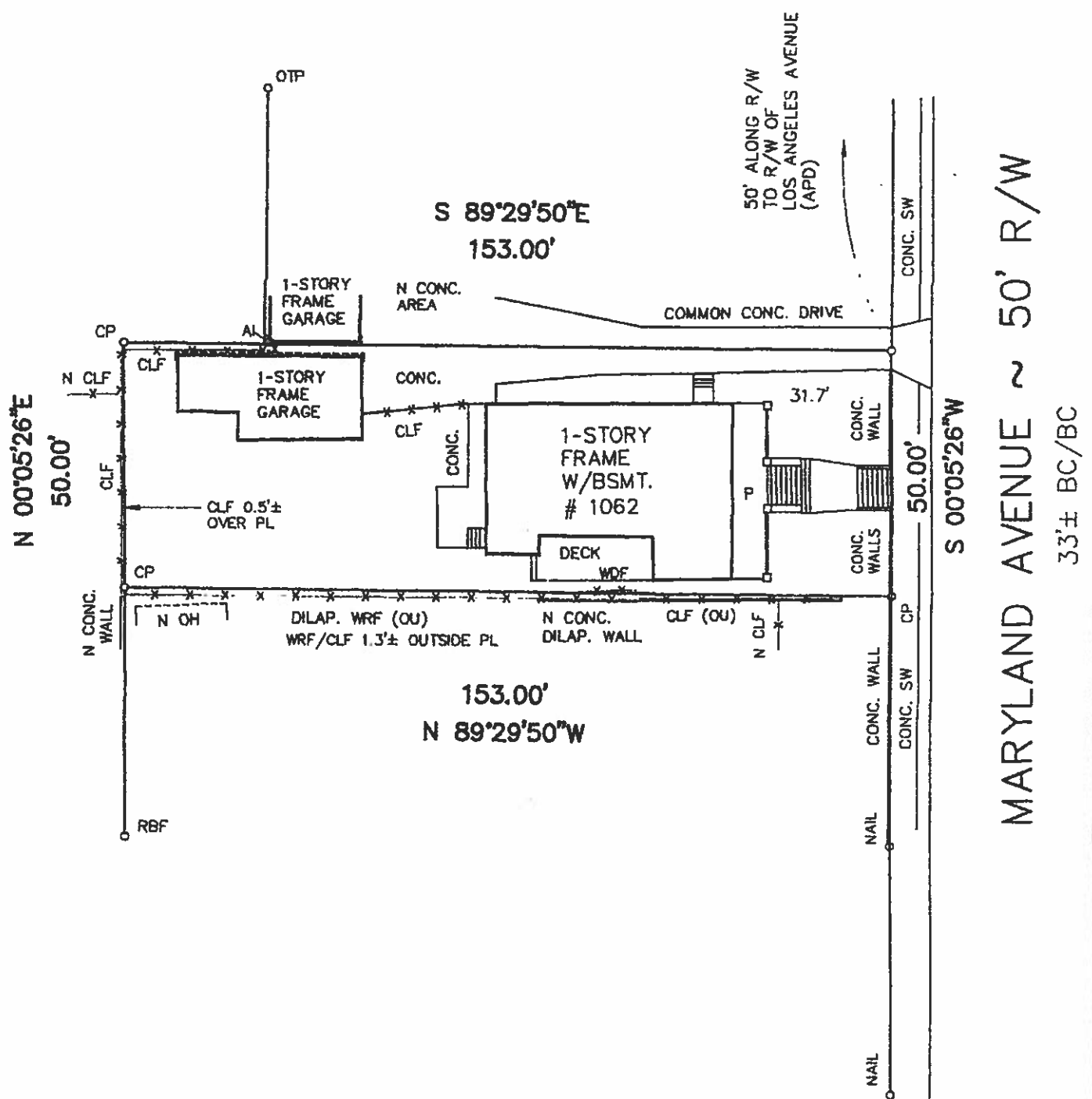
PHONE (404)760-0010
FAX (404)760-0011

JOB NUMBER 1-30164
ATLANTA, GA. 31106-0688
P.O. BOX 8688

SURVEY SYSTEMS & ASSOC., INC.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 20,000 FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.



- * LEGEND ***
- | | |
|-----------------------------|----------------------------|
| POB POINT OF BEGINNING | IRF IRON PIN FOUND |
| LLS LAND LOT LINE | OTF OPEN TOP PIPE FOUND |
| MH MAIN HOLE | CTP CHIMNEY TOP PIPE FOUND |
| SSL SANITARY SEWER LINE | RBF REINFORCING BAR FOUND |
| CB CATCH BASIN | AL ANGLE IRON FOUND |
| JB JUNCTION BOX | CP CALCULATED POINT |
| DI DRAINAGE INLET | Y-Y FENCE |
| Y YARD INLET | CLF CHAIN LINK FENCE |
| HW HEAD WALL | WDF WOOD FENCE |
| PP POWER POLE | WRF WIRE FENCE |
| PW POWER LINE | FC FENCE CORNER |
| SSE SANITARY SEWER EASEMENT | BL BUILDING LINE |
| DE DRAINAGE EASEMENT | R/W RIGHT-OF-WAY |
| UE UTILITY EASEMENT | PL PROPERTY CORNER |
| AE ACCESS EASEMENT | PC PROPERTY CORNER |
| TD TOP OF BANK | CL CENTER LINE |
| CMP CORRUGATED METAL PIPE | CPT CAPPOINT |
| RCP REINFORCED CONC. PIPE | BR BRICK |
| APF AS PER PLAT | FR FRAME |
| APD AS PER DEED | WD WOOD |
| APR AS PER RECORD | PL PLAT |
| APF AS PER FIELD | DE DEED |
| BC BACK OF CURB | EP RECORD |
| OU OWNERSHIP UNCLEAR | FR FIELD |
| OH OVERHANG | |

I HAVE THIS DATE EXAMINED THE "FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL (S) IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL.

MAP ID: _____
EFFECTIVE DATE: _____
ZONE: _____

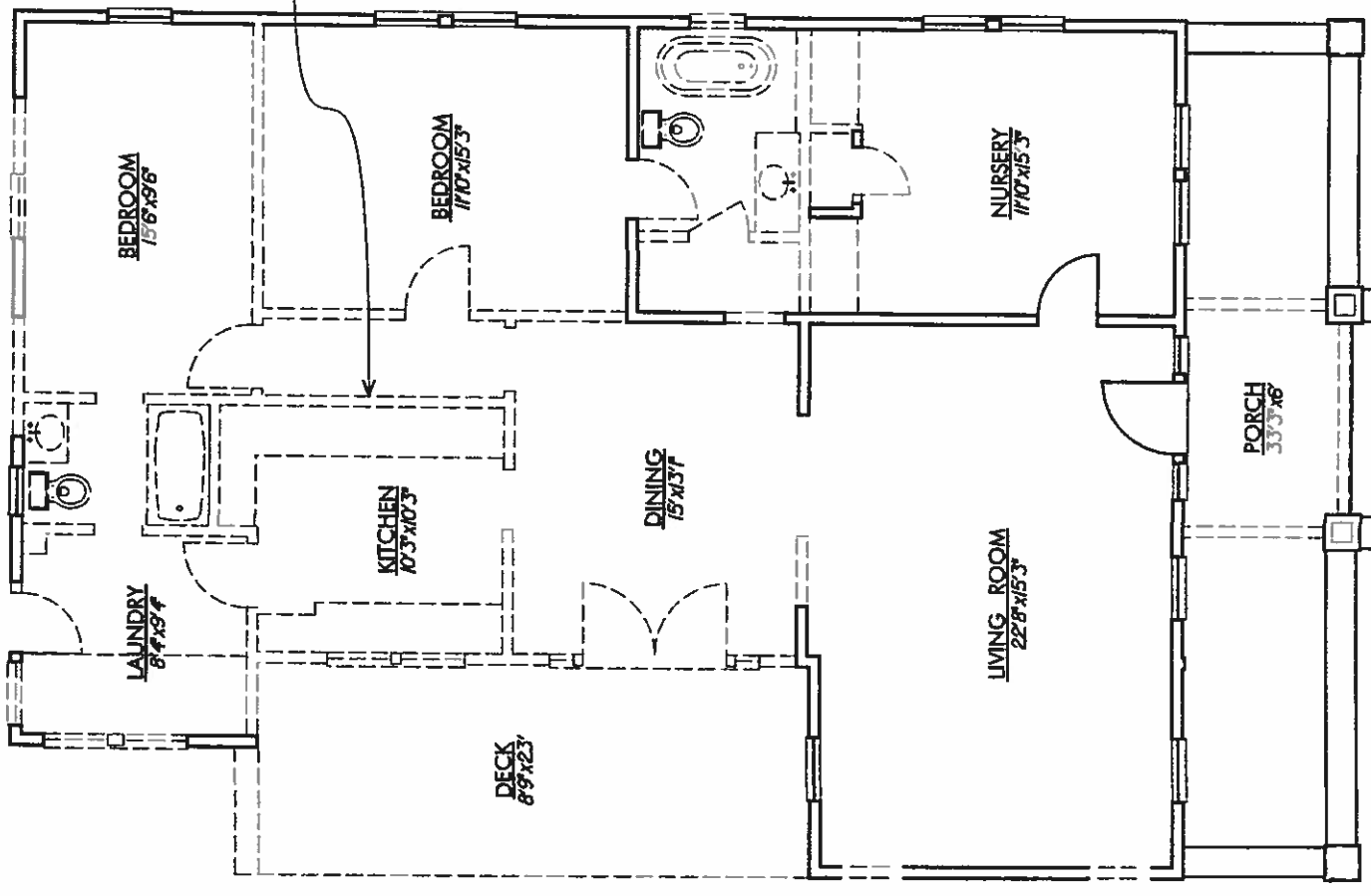
THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE RIGHT-OF-WAYS PUBLIC OR PRIVATE.

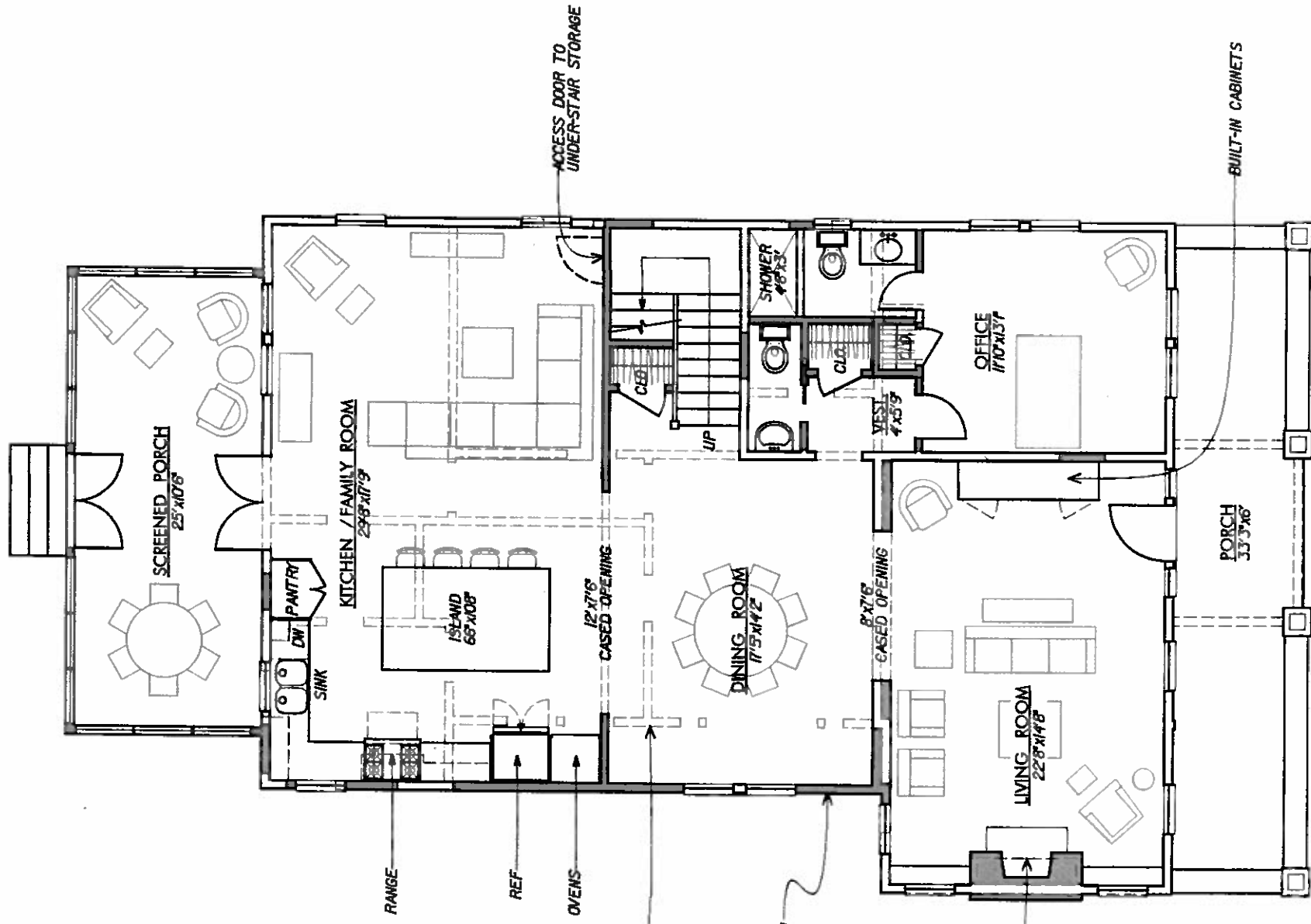


DEMOLITION NOTES:

1. REMOVE EXISTING CONSTRUCTION AS REQUIRED FOR NEW WORK.
2. CONTRACTOR SHALL NOT REMOVE DEMOLITION MATERIALS THROUGH INHABITED SPACE UNLESS THERE ARE NO OTHER OPTIONS.
3. PROVIDE WEATHERPROOF AND AIRTIGHT TEMPORARY SECURITY AND DUST BARRIERS FROM PORTIONS OF HOUSE NOT IN WORKSCOPE.
4. PROVIDE TEMPORARY SHORING AS REQUIRED PRIOR TO REMOVAL OF LOAD BEARING CONSTRUCTION. MAINTAIN SHORING UNTIL NEW LOAD BEARING STRUCTURE IS IN PLACE.
5. REMOVE EXISTING WALL & CEILING FINISHES AS REQUIRED FOR INSTALLATION OF ELECTRICAL WIRING.
6. EXISTING SURFACES TO REMAIN THAT ARE DAMAGED BY AGE, SELECTIVE DEMOLITION, AND/OR CONSTRUCTION ACTIVITY SHALL BE PATCHED AND REFINISHED TO MATCH EXISTING CONDITIONS.
7. PROTECT ALL EXISTING TREES THROUGHOUT CONSTRUCTION.

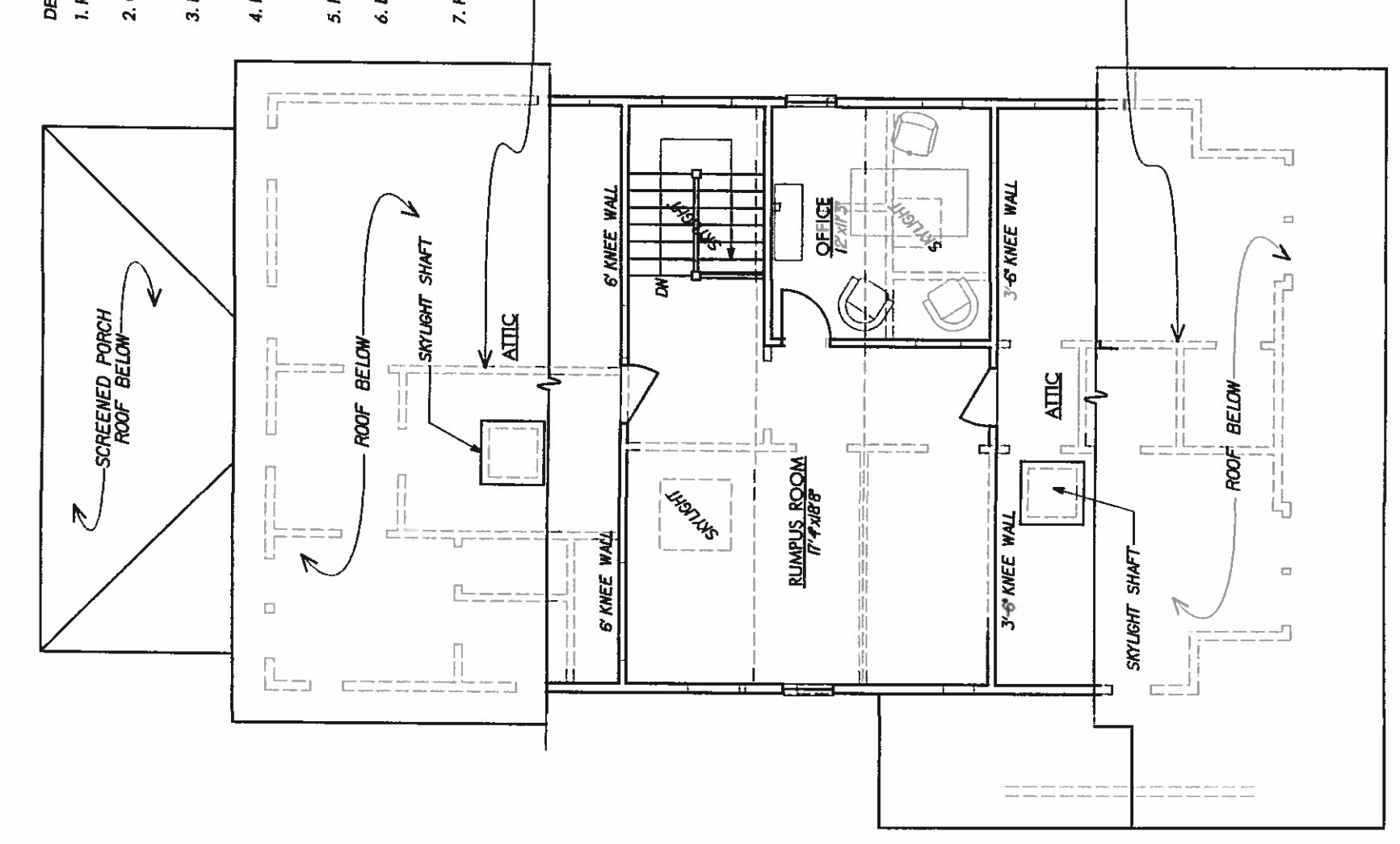
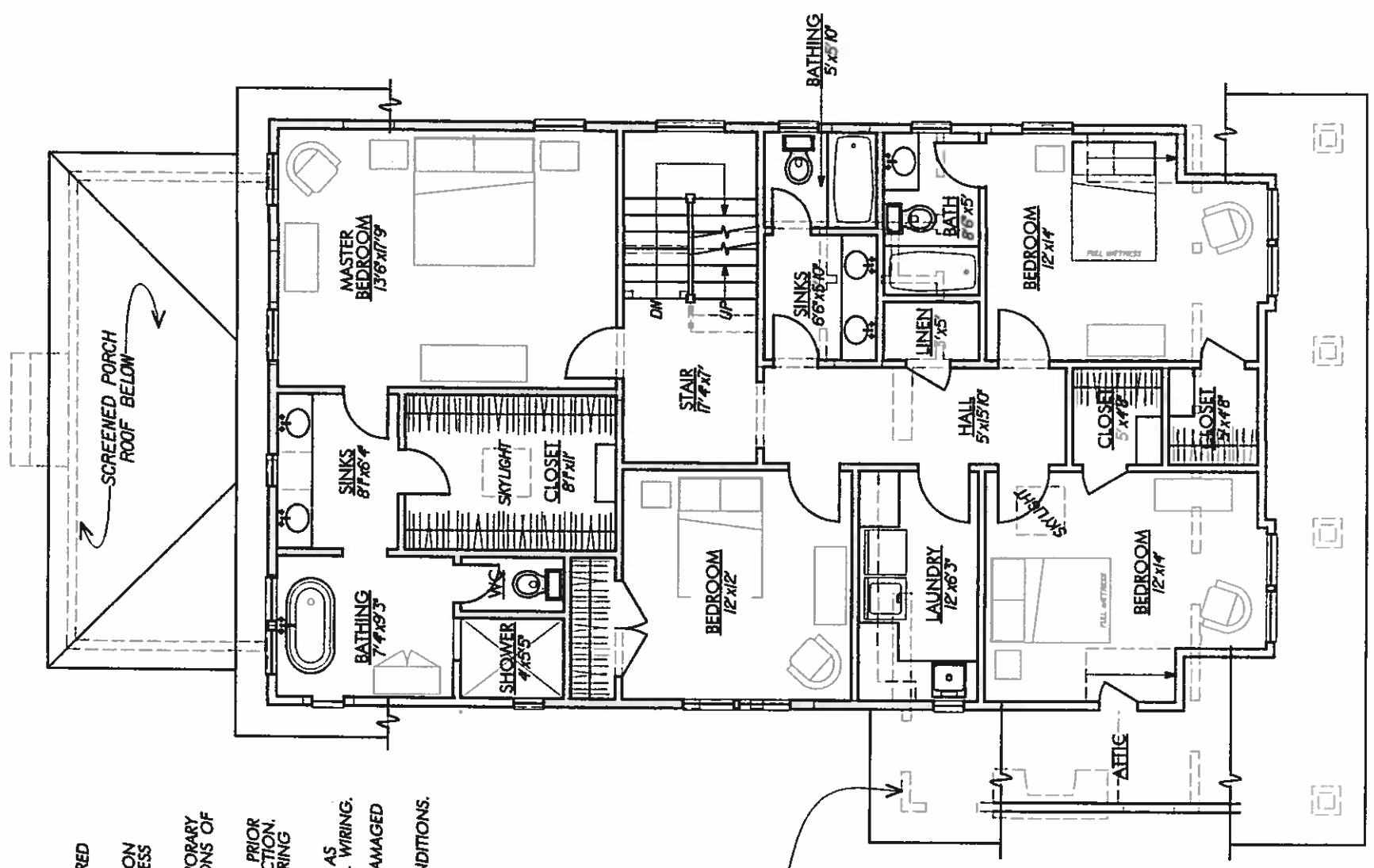


01 EXISTING FIRST FLOOR PLAN
 A-1.01
 SCALE: 1/8" = 1'-0"
 FLOOR AREA: 1,422 SF



02 PROPOSED FIRST FLOOR PLAN
 A-1.01
 SCALE: 1/8" = 1'-0"
 FLOOR AREA: 1,507 SF

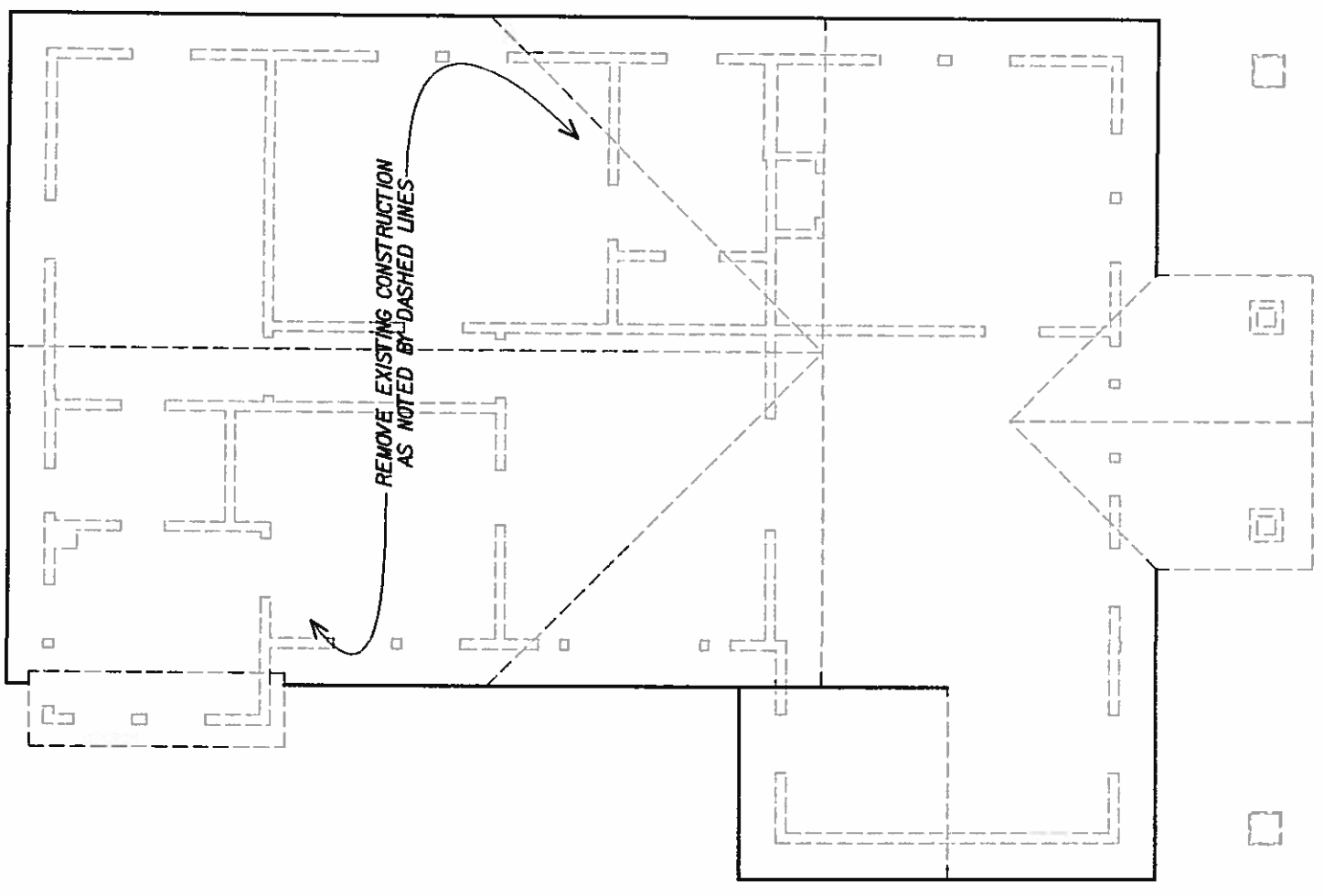
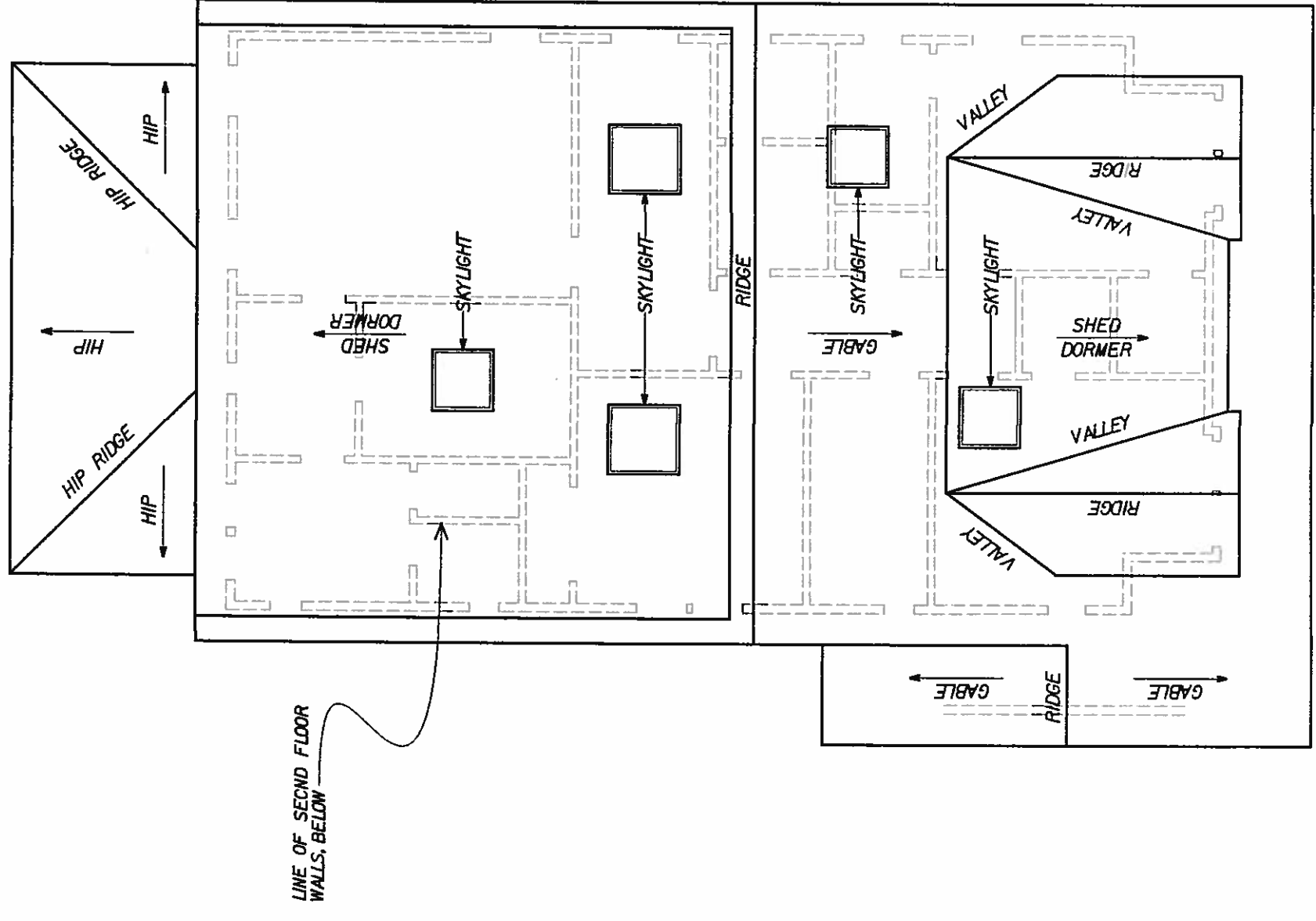
- DEMOLITION NOTES:**
1. REMOVE EXISTING CONSTRUCTION AS REQUIRED FOR NEW WORK.
 2. CONTRACTOR SHALL NOT REMOVE DEMOLITION MATERIALS THROUGH INHABITED SPACE UNLESS THERE ARE NO OTHER OPTIONS.
 3. PROVIDE WEATHERPROOF AND AIRTIGHT TEMPORARY SECURITY AND DUST BARRIERS FROM PORTIONS OF HOUSE NOT IN WORKSCOPE.
 4. PROVIDE TEMPORARY SHORING AS REQUIRED PRIOR TO REMOVAL OF LOAD BEARING CONSTRUCTION. MAINTAIN SHORING UNTIL NEW LOAD BEARING STRUCTURE IS IN PLACE.
 5. REMOVE EXISTING WALL & CEILING FINISHES AS REQUIRED FOR INSTALLATION OF ELECTRICAL WIRING.
 6. EXISTING SURFACES TO REMAIN THAT ARE DAMAGED BY AGE, SELECTIVE DEMOLITION, AND/OR CONSTRUCTION ACTIVITY SHALL BE PATCHED AND REFINISHED TO MATCH EXISTING CONDITIONS.
 7. PROTECT ALL EXISTING TREES THROUGHOUT CONSTRUCTION.



NEW WALL 2x4 STUDS AT 16" O.C.
 EXISTING WALL
 LINE OF EXISTING WALLS TO BE REMOVED

02 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 FLOOR AREA: 1,521 SF

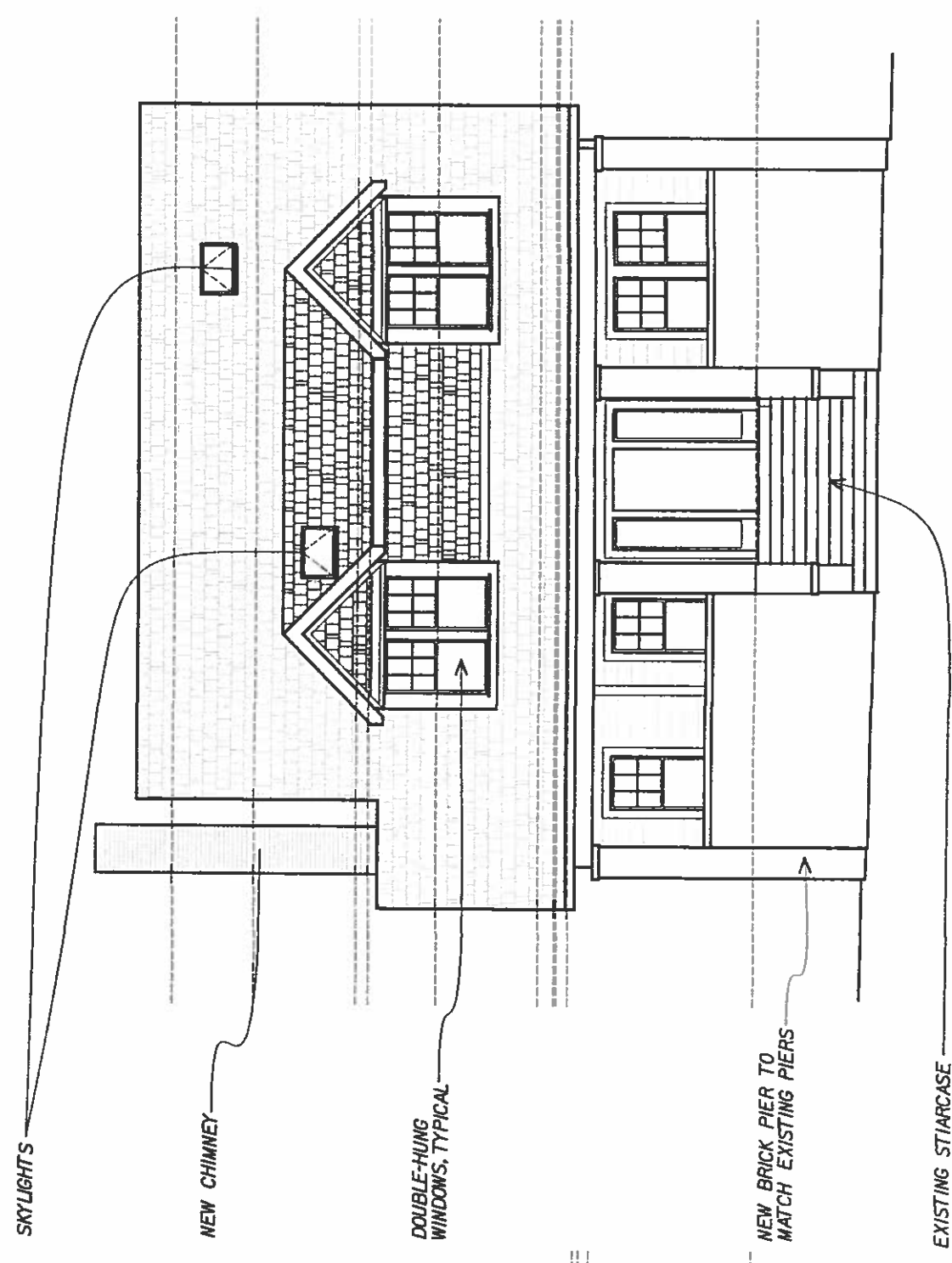
01 PROPOSED ATTIC FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 FLOOR AREA: 554 SF



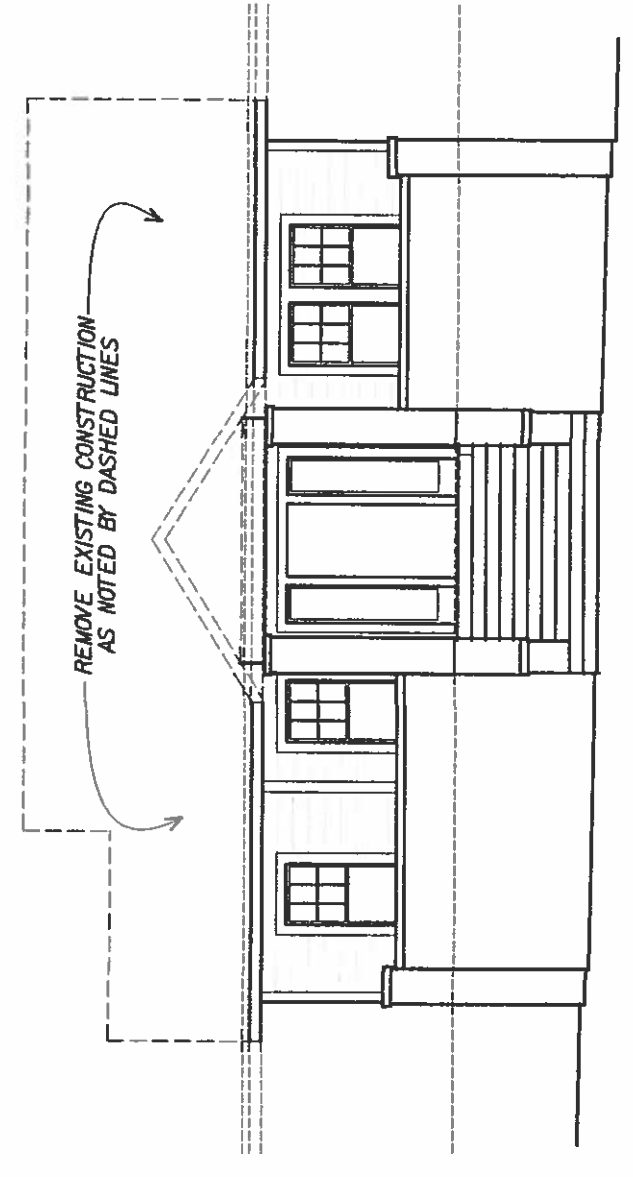
02 PROPOSED ROOF PLAN
 A-1.03 SCALE: 1/8" = 1'-0"

01 EXISTING ROOF PLAN
 A-1.03 SCALE: 1/8" = 1'-0"

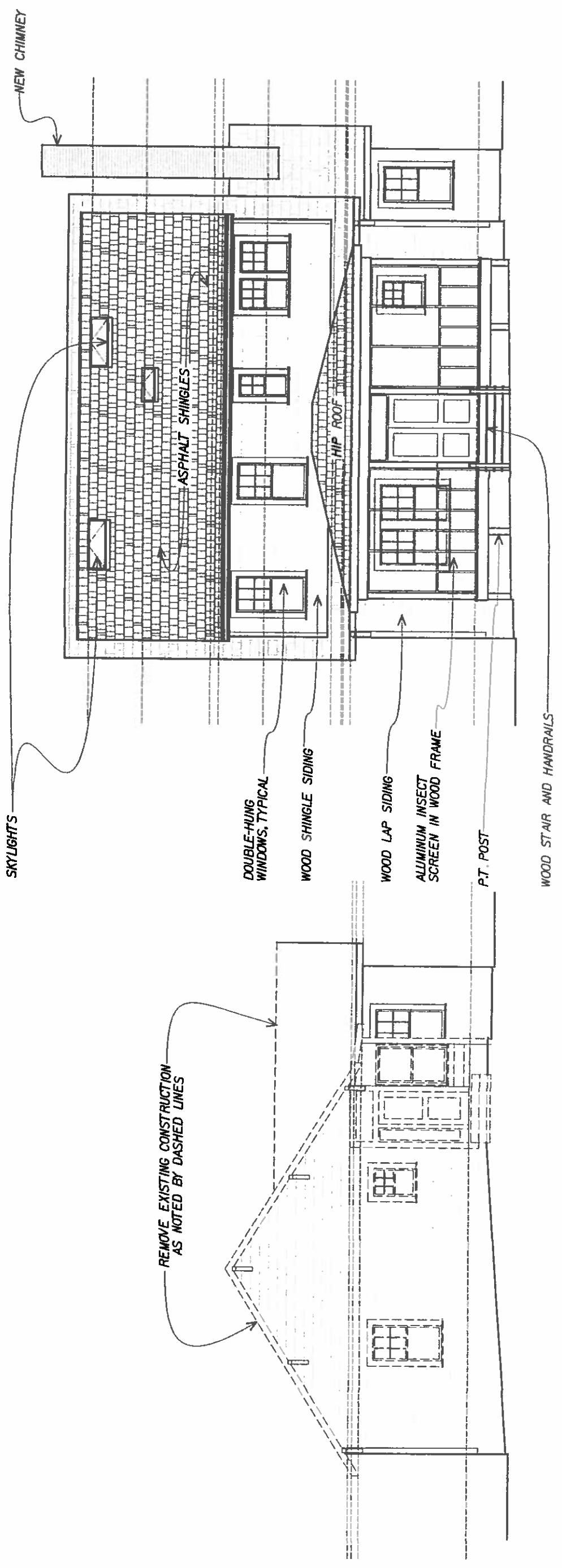
DATE	02/15/17
REVISIONS	



02 PROPOSED FRONT ELEVATION
 A-2.01 SCALE: 1/8" = 1'-0"

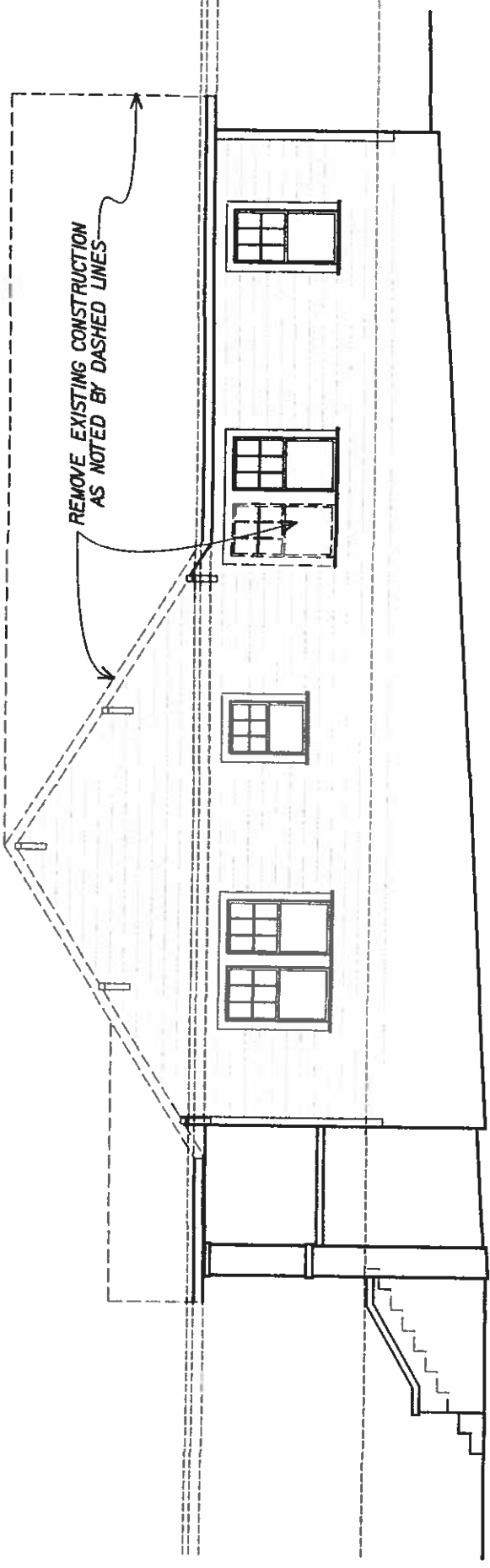


01 EXISTING FRONT ELEVATION
 A-2.01 SCALE: 1/8" = 1'-0"



01 PROPOSED BACK ELEVATION
 A-2.02 SCALE: 1/8" = 1'-0"

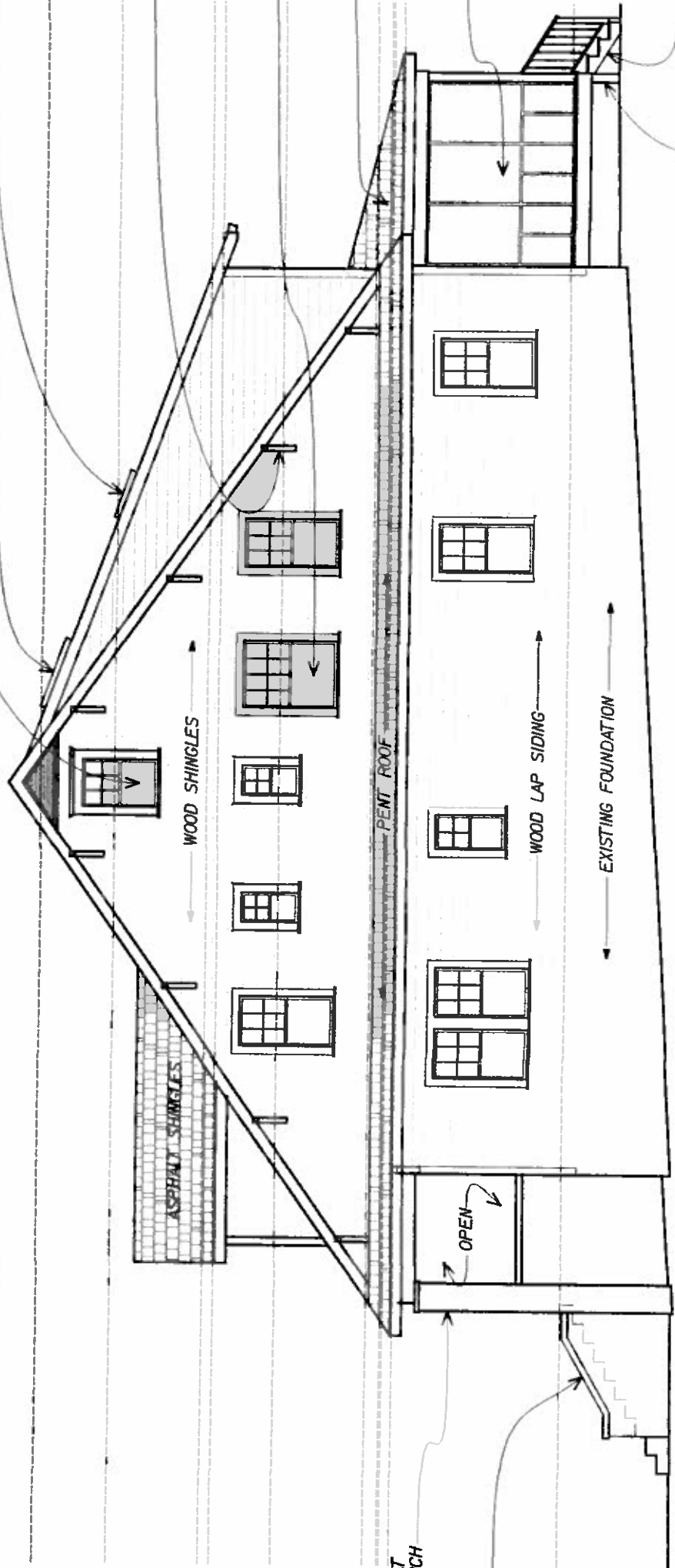
01 EXISTING BACK ELEVATION
 A-2.02 SCALE: 1/8" = 1'-0"



01 EXISTING SIDE ELEVATION

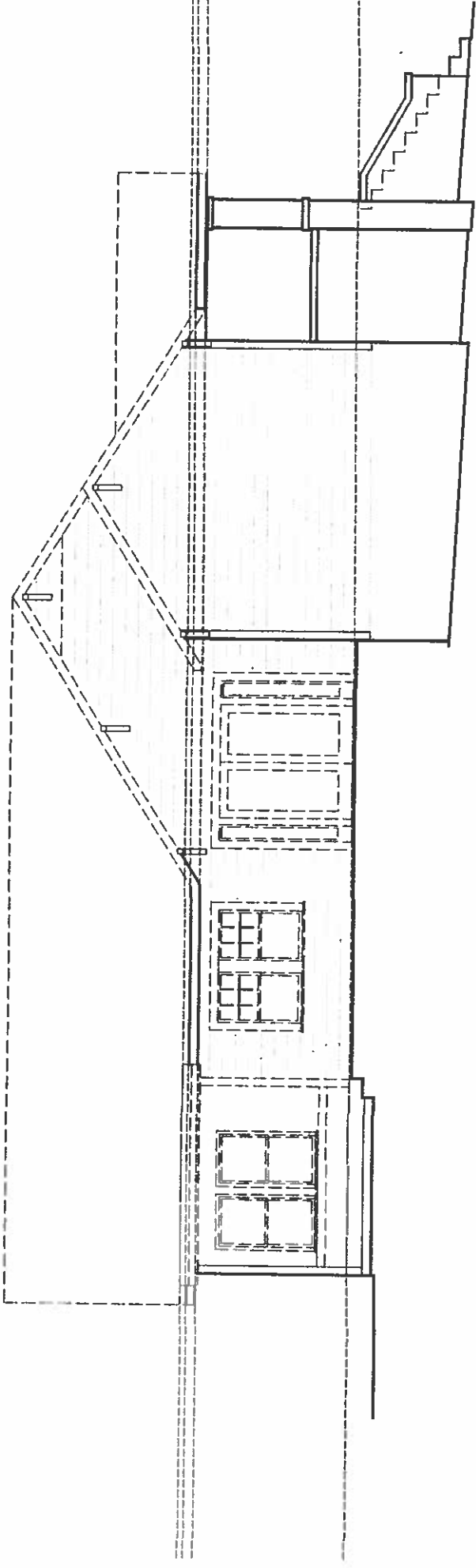
SCALE: 1/8" = 1'-0"

- CASEMENT WINDOW AT ATTIC FLOOR
- SKYLIGHTS
- WOOD BRACKETS, TYPICAL
- DOUBLE-HUNG WINDOWS, TYPICAL
- HIP ROOF
- ALUMINUM INSECT SCREEN IN WOOD FRAME
- WOOD STAIR AND HANDRAILS
- PT. POST



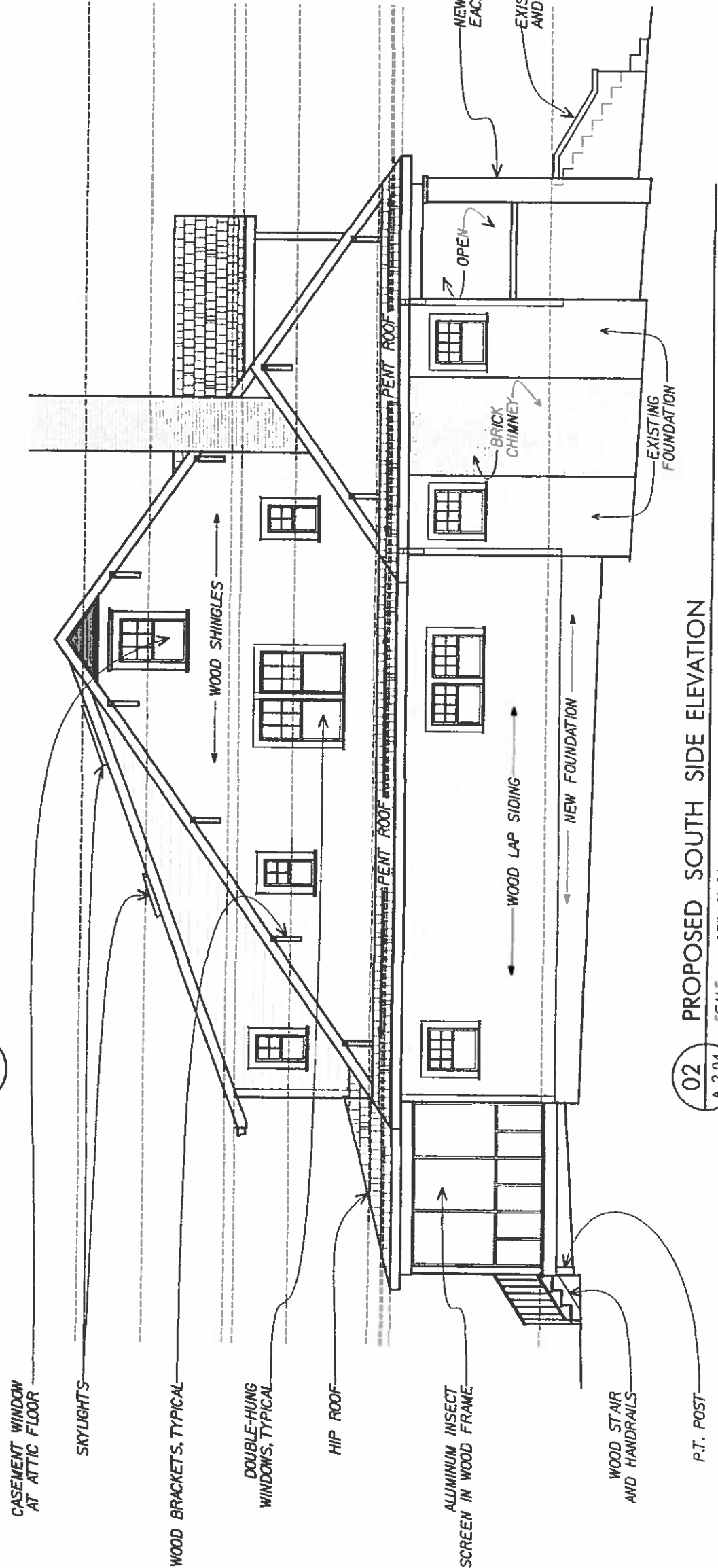
02 PROPOSED NORTH SIDE ELEVATION

SCALE: 1/8" = 1'-0"



01 EXISTING SIDE ELEVATION

A-2.04 SCALE: 1/8" = 1'-0"



02 PROPOSED SOUTH SIDE ELEVATION

A-2.04 SCALE: 1/8" = 1'-0"