



OFFICE OF PLANNING
55 Trinity Avenue S.W., Suite 3350
Atlanta, Georgia 30303
(404) 330-6145

APPLICATION #: **V-17-038**
DATE ACCEPTED: **02/15/2017**

NOTICE TO APPLICANT

Address of Property:
897 Highland View NE

City Council District: **6** Neighborhood Planning Unit (NPU): **F**

Board of Zoning Adjustment (BZA) Hearing Date:

Thursday, April 13, 2017 at 12:00 p.m.

Council Chambers, 2nd Floor, City Hall
55 Trinity Avenue, S.W.

The contact person for NPU F is:

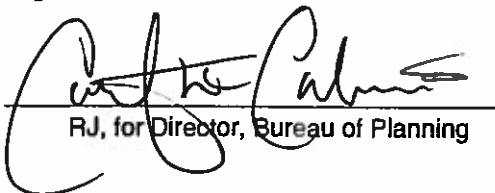
Charles Nalbone
404-376-3230
zoning@npufatlanta.org

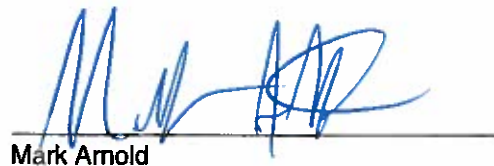
Contact info for adjacent NPUs is provided below if necessary:

Additional Contacts:

Please contact the person(s) listed above within two days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

Signed,


RJ, for Director, Bureau of Planning


Mark Arnold



Office of Planning

CITY OF ATLANTA

Office of Buildings - Zoning Division
55 TRINITY AVENUE, SUITE 3900
Atlanta, Georgia 30303
404-330-6175

FEB 15 2017

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

REFERRAL CERTIFICATE

COUNCIL DISTRICT 6 APPLICATION NUMBER V-17-038
NPU _____ DATE FILED 2/15/17

1. _____
Mark F. Arnold
Name of Applicant

BUILDING PERMIT AUTHORIZING Active recreation/pool/ parking turn around

at 897 Highland Avenue NE 14th/16
Street Address Quadrant District & Land Lot

to be used for Residential purposes

The property is zoned R-4 District

2. The Building Permit Was Denied For The Following Reasons:

Applicant seek a variance from the zoning regulation to (1) reduce the required front yard setback from 35 feet to 18 feet. (2) Reduce the west side yard setback from 7 feet to 3 feet in order to construct a second story addition.

Applicant seeks no other variances at this time.

Complete plan review was not conducted

1982 ZONING ORDINANCE, AS AMENDED

Chapter 6 Section 16-06.008 Paragraph 1

Chapter 6 Section 16-06.008 Paragraph 2

Chapter _____ Section _____ Paragraph _____

North Carter 2-15-17
Plan Reviewer Date

[Signature] 2/15/17
Applicant Date

APPLICATION FOR BOARD OF ZONING ADJUSTMENT Office of Planning

Please mark "X" next to the type of application(s) you are submitting: FEB 15 2017

Variance	X
Special Exception	
Variance & Special Exception	

65 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

Date Filed 2/15/17

Application Number V-17-038

Name of Applicant Mark F Arnold Daytime Phone (404) 939-3690

Company Name (if applicable) Mark Arnold, Architect email markarnoldarchitect@gmail.com

Address 1 126 N Highland Ave, NE Atlanta GA 30306
street city state zip code

Name of Property Owner Brittany Blass Phone (404) 983-5584

Address 897 Highland View Atlanta GA 30306
street city state zip code

Description of Property

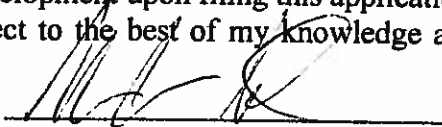
Address of Property 897 Highland View Atlanta GA 30306
street city state zip code

Area: _____ Land Lot: 16 District: 14th, Fulton County, GA.

Property is zoned: R4, Council District: 06, Neighborhood Planning Unit (NPU): F

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received an adverse order or requirement from the administrative officer in seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.




 Owner or Agent for Owner (Applicant)

Mark F Arnold

 Print Name of Agent

Sworn To And Subscribed Before Me This 13 Day Of FEB, 2017.


 NOTARY PUBLIC



SUMMARY & JUSTIFICATION FOR VARIANCES

FEB 15 2017

Directions: Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. The justification must address these criteria. Please submit a typewritten or legible justification.

State whether the property described in this application is subject to a pending application or ordinance for a Rezoning or Special Use Permit. YES NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor.)

Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria). (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates).")

Renovation and expansion of single family home to include build-out of 4 bedrooms / 2 bathrooms second floor within reconfigured roof line. Addition of screened porch on first floor.

Proposed Lot Coverage (After Construction): Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

3,663 covered square feet / 7,462 total lot square feet = 49.1 % proposed lot coverage

50 % maximum allowed lot coverage

Variance Criteria (see page 6 for detailed criteria):

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? (see attached justification)
- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? (see attached justification)
- 3) What conditions are peculiar to this particular piece of property? (see attached justification)
- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. (see attached justification)

Brittany & Frank Brockway

897 Highland View, NE
Atlanta, Georgia 30306
(404) 983-5584
brittanyblass@gmail.com

V-17-038
Office of Planning

FEB 15 2017

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

February 13, 2017

City of Atlanta
Department of Planning and Community Development
Bureau of Planning, Current Planning Division
55 Trinity Avenue, Suite 3350
Atlanta, GA 30335

re: 897 Highland View, NE 30306

Planning Staff:

We wish to remodel and expand our home at 897 Highland View. We plan to construct screened porch on the first floor and reconfigure the roof in order to add living space on the second floor. Some of this space will be located above portions of the house that currently encroach into the required front and side yard setbacks. It is our understanding that this portion of the work necessitates a variance to reduce these setbacks from what is required by the zoning ordinance to what is actually built. Therefore, we request that the front-yard setback be reduced from the required 35 feet to 18 feet and the west side-yard setback be reduced from the required 7 feet to 3 feet. We offer the following items in support of our variance request:

- Variance Application
- Survey
- Referral Certificate
- Proposed Floor Plans & Elevations with existing photographs

The subject property is zoned R-4. We believe the property meets the variance criteria laid out in Section 16-26.003 in the Zoning Guidelines in the following ways:

Extraordinary/Exceptional Conditions Pertaining to the Property because of its Size/Shape

The street frontage of our lot is 49.72 feet versus the required minimum width of 70 feet and the area of our lot is 7,462 sf versus the required minimum area of 9,000 sf. To the best of our knowledge, these features have been in place since the house was built in 1930.

The Application of the Zoning Ordinance to this Property would create an Unnecessary Hardship

Our renovation and expansion plans have been designed with the goal of preserving ample backyard space and maintaining the historic look of the existing house.

The existing roof will be removed and reframed to enable the build-out of a four-bedroom/two-bath second floor addition. The front bedroom will be located over the existing front porch and, consequently, be located within the required front-yard setback. The bedroom on the west side of the house will be located above the portion of the first floor that currently encroaches into the west side-yard setback. The application of the required 35 foot front yard and 7 foot side yard setbacks would create an unnecessary hardship in that it would prevent us from expanding our home in an efficient and pragmatic manner.

Such conditions are peculiar to the particular piece of property involved

Many of the lots in Virginia-Highland have features that are in conflict with the current zoning ordinance. The specific deficiencies of this lot include the street frontage of 49.72 feet versus the required 70 feet and the lot area of 7,462 SF versus the required 9000 SF.

The Variance would not cause substantial detriment to the public good or impair the purpose and intent of the Zoning Ordinance of Atlanta

Relief, if granted, will not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. Relief, if granted, will not distract from people's use and enjoyment of adjoining and surrounding properties. The proposed construction is in harmony with construction on neighboring lots, and allows for adequate light and air. We believe the proposed construction is in keeping with the orderly evolution of this neighborhood and will promote desirable living conditions for the homeowner as well as the neighborhood.

Thank you for your consideration in this request.

Sincerely,

Brittany & Frank Brockway

Office of Planning

V-17-058
FEB 15 2017

AUTHORIZATION BY PROPERTY OWNER

FEB 15 2017

(Required only if the applicant is not the owner of the property subject to the proposed application.)

(Please Print Clearly)

55 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

I, Brittany Blass (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT 897 Highland View, NE (PROPERTY ADDRESS). AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

NAME OF APPLICANT:

LAST NAME Arnold FIRST NAME Mark

ADDRESS 1126 N. Highland Ave, NE SUITE _____

CITY Atlanta STATE GA ZIP CODE 30306

OWNER'S TELEPHONE NUMBER: 404.983.5584

Brittany Blass

SIGNATURE OF OWNER

Brittany Blass

PRINT NAME OF OWNER

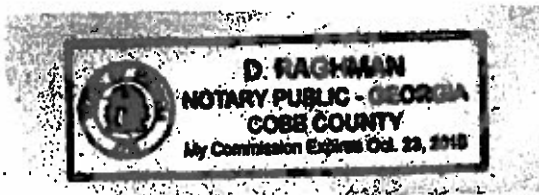
PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

D. Raghman

NOTARY PUBLIC

1/31/2017

DATE



RECEIPT

CITY OF ATLANTA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
55 TRINITY AVE SW, ATLANTA GA 30303
404-330-6070

PAID
CITY OF ATLANTA
FEB 15 2017
EX OFFICIO
REVENUE COLLECTOR

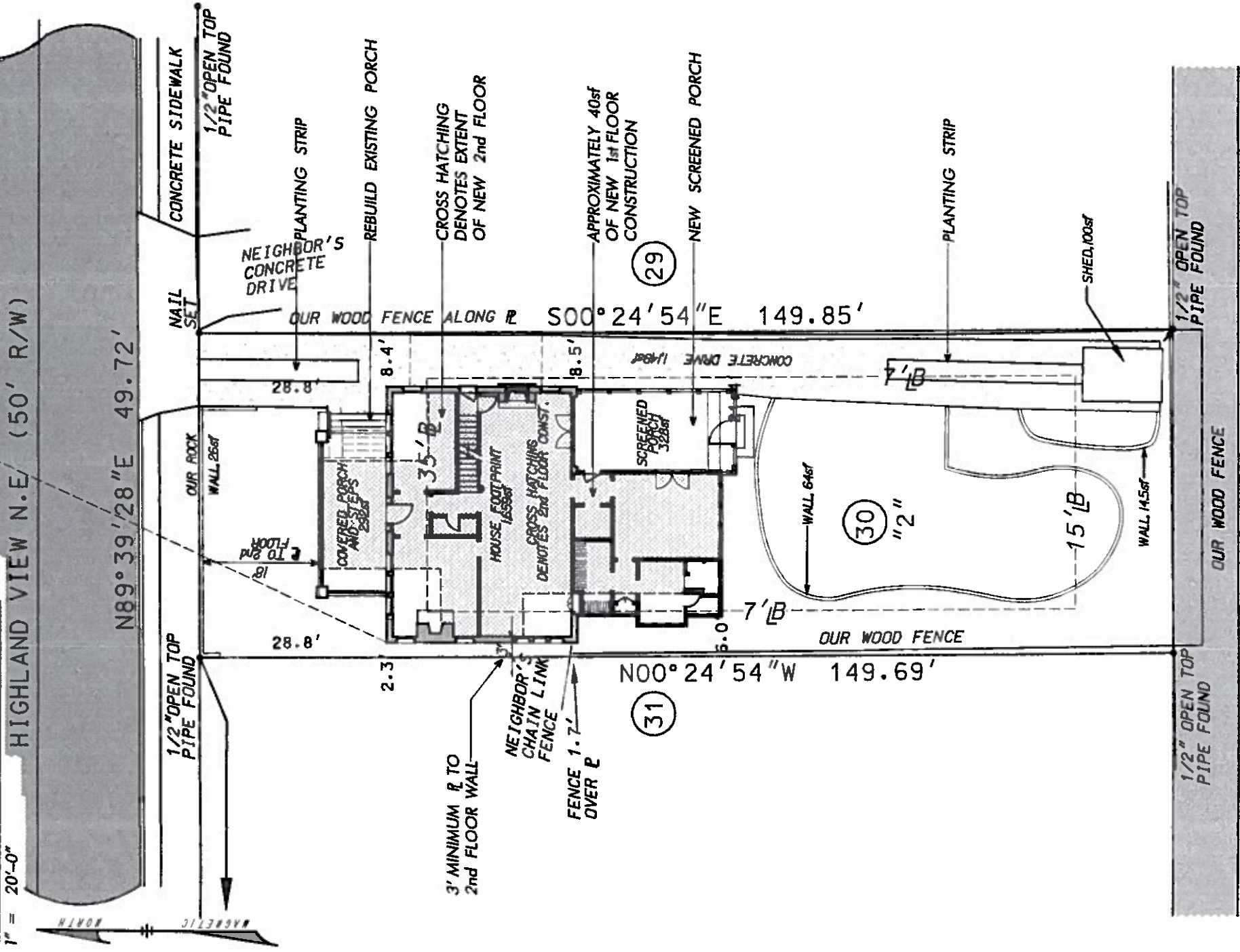
Application: V-17-038
Application Type: Planning/BZA/Special Exception-Variance/NA
Address: 897 highland AVE NE, ATLANTA, GA 30306
Owner Name: Brittany Blass
Owner Address: ATLANTA,GA
Application Name: Mark Arnold

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
508370		\$100.00	02/15/2017	BSIMMONS		

Owner Info: Brittany Blass
ATLANTA, GA

Work Description: Variance to reduce front yard setback form 35 to 18 feet and west side yard from 7 to 3 feet

ARCHITECTURAL SITE PLAN



S89°50'36"W 49.82'
10' ALLEY
(NOT OPEN)

OWNER
BRITTANY BLASS & FRANKLIN BROCKWAY
897 HIGHLAND VIEW, NE
ATLANTA, GA 30306
(404) 983-5584 (Brittany)
brittanyblass@gmail.com

ARCHITECT
MARK ARNOLD, ARCHITECT
1126 N. HIGHLAND AVENUE, NE
ATLANTA, GA 30306
404-939-3690
intownarchitect@gmail.com
Georgia Registration RA008398

CONTRACTOR
TO BE DETERMINED

PROPERTY DATA
R-4 (SINGLE FAMILY RES) DISTRICT,
16-06 City of Atlanta Zoning Ordinance
LAND LOT 16, 14th DISTRICT
FULTON COUNTY, GEORGIA
LOT 30, BLOCK 2,
"Highland View Subdivision"

MICHAEL R. NOLES
REGISTERED LAND SURVEYOR
LICENSE NO. 2646, PLAT DATE 09/16/16

ZONING ANALYSIS
R-4 (SINGLE FAMILY RES) DISTRICT,
SECTION 16-06 City of Atlanta Zoning Ordinance

1) Minimum lot area: 9,000 SF
Existing: 7,462 SF (0.171 ± ACRES)
2) Minimum lot frontage: 70 feet
Existing: 49.72 feet

3) Maximum Floor Area Ratio: 50%
Existing: 19.51% (1,456sf/7,462sf=0.195)
Proposed: 38.9% (2,909sf/7,462sf=0.389)
First Floor 1,518sf+Second Floor 1391sf
divided by Lot Area 7,462sf

4) Maximum lot coverage: 50%
Existing: 50% (3,734sf/7,462sf=0.500)
House Footprint 1,600sf+PorchSteps 255sf
+ Driveway 1644sf+Accessory Building 100sf
+ Walls 135sf divided by Lot Area 7,462sf
Proposed: 49.1% (3,663 / 7,462 = 0.491)
House Footprint 1,659sf+Front Porch 292sf
+ Screened Porch 328sf+ Driveway 1,149sf
+ Accessory Building 100sf+Walls 135sf
divided by Lot Area 7,462sf

5) Minimum depth front yard: 35 feet
Existing: 28.8'
Proposed: 18'

6) Minimum width east side yard: 7 feet
Existing: 8.4'
Proposed: NO CHANGE

7) Minimum width west side yard: 7 feet
Existing: 2.3'
Proposed: 3' at new second floor wall

8) Minimum depth rear yard: 15 feet
Existing: 70'
Proposed: NO CHANGE

9) Maximum building height: 35 feet
Existing: 21' ±
Proposed: 27' ±

APPLICABLE CODES

International Residential Code, 2012 Ed.
with Georgia Amendments 2014 and
2014 Prescriptive Deck Details
International Plumbing Code, 2012 Ed
with Georgia Amendments 2014
International Mechanical Code, 2012 Ed.
with Georgia Amendments 2014
International Fuel Gas Code, 2012 Ed.
with Georgia Amendments 2014
National Electrical Code, 2011 Ed
International Energy Conservation Code,
2009 Ed., with Georgia Supplements
and Amendments (2011/2012)

DRAWING INDEX

- A-0.00 COVER SHEET, ZONING ANALYSIS, ARCHITECTURAL SITE PLAN
- A-0.01 EXISTING SURVEY
- A-1.01 EXISTING & PROPOSED 1st FLOOR PLANS
- A-1.02 PROPOSED 2nd FLOOR PLAN
- A-1.03 EXISTING & PROPOSED ROOF PLANS
- A-1.04 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-1.05 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A-1.06 EXISTING & PROPOSED EXTERIOR ELEVATIONS

Office of Planning
V-17-036
FEB 15 2017

65 Trinity Ave. S.W.
Ste. 3350
Atlanta, GA

ZONING INFORMATION

CITY OF ATLANTA - R-4
MINIMUM LOT AREA: 9,000 SQUARE FEET
MINIMUM LOT WIDTH: 70 FEET
MAXIMUM FLOOR AREA RATIO: 0.50
MAXIMUM LOT COVERAGE: 50 PERCENT
MINIMUM FRONT SETBACK: 35 FEET
1/2 DEPTH FRONT SETBACK: 17.5 FEET
MINIMUM SIDE SETBACK: 7 FEET
MINIMUM REAR SETBACK: 15 FEET
MUST BE VERIFIED BY CITY OF ATLANTA
PRIOR TO CONSTRUCTION.

126.5' TO EAST R/W
OF BARNETT STREET
(50' R/W)

SURVEY NOTES

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, PLEASE CALL ALL LOCAL UTILITY PROVIDERS.



Know what's below.
Call before you dig.

2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
4. THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS GATHERED BY AN OPEN TRAVERSE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 280,591 FEET. LINEAR AND ANGULAR MEASUREMENTS WERE OBTAINED BY USING A TOPCON TOTAL STATION.
5. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
6. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
7. THIS PROPERTY IS NOT LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.R.M. OFFICIAL FLOOD HAZARD MAPS.
8. THIS PLAT IS NOT INTENDED FOR RECORDING.
9. ALL REBAR SETS ARE 1/2" REBARS UNLESS OTHERWISE NOTED.

IMPERVIOUS CALCULATIONS

EXISTING IMPERVIOUS CONDITIONS
HOUSE = 1594.9± SQ.FT.
FRONT PORCH = 221.7± SQ.FT.
FRONT PORTION = 8.1± SQ.FT.
WALL & PORCH = 28.4± SQ.FT.
FRONT STEPS = 26.2± SQ.FT.
ROCK WALL & R/W = 26.2± SQ.FT.
CONCRETE DRIVE = 532.8± SQ.FT.
PORTION OF OVER HANG = 21.2± SQ.FT.
WALL & REAR OF HOUSE = 22.5± SQ.FT.
LARGEST WALL REAR YARD = 63.8± SQ.FT.
SMALLER WALL REAR YARD = 14.6± SQ.FT.
FRAME BLDG = 99.9± SQ.FT.
CONC. PAVERS = 1089.6± SQ.FT.
TOTAL IMPERVIOUS AREA = 3,723.3± SQ.FT. OR 49.9%

REFERENCE MATERIAL

1. WARRANTY DEED IN FAVOR OF BRITANNY M. BLASS AND FRANKLIN J. BROCKWAY DEED BOOK 55144 427 FULTON COUNTY, GEORGIA RECORDS



4833 South Cobb Drive Suite 200
Smyrna, Georgia 30080 (770) 434-3383
Certificate of Authorization #LSF000752

This original of
this document was
sealed and signed by
Michael R. Niles
L.S. #2648
REPRODUCTION IS NOT
A CERTIFIED
DOCUMENT.

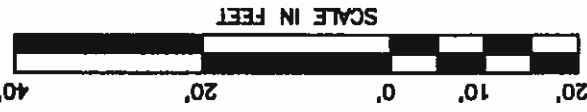
THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67. THE GEORGIA PLAT ACT O.C.G.A. 15-6-67, 43-15-4, 43-15-6, 43-15-19, 43-15-22.

Michael R. Niles
Georgia RLS #2648
Member SAMSOC
JOB#243325

LEGEND

- R BUILDING LINE
- R PROPERTY LINE
- R REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- R POWER POLE
- R LIGHT POLE
- R POWER METER
- R POWER BOX
- R AIR CONDITION
- R TELEPHONE BOX
- R GAS METER
- R GAS VALVE
- R WATER METER
- R WATER VALVE
- R JUNCTION BOX
- R DROP INLET
- R SANITARY SEWER MANHOLE
- R FIRE HYDRANT

No.	Revision	Date
1	ADD IMPERVIOUS CALCULATIONS	9-22-16



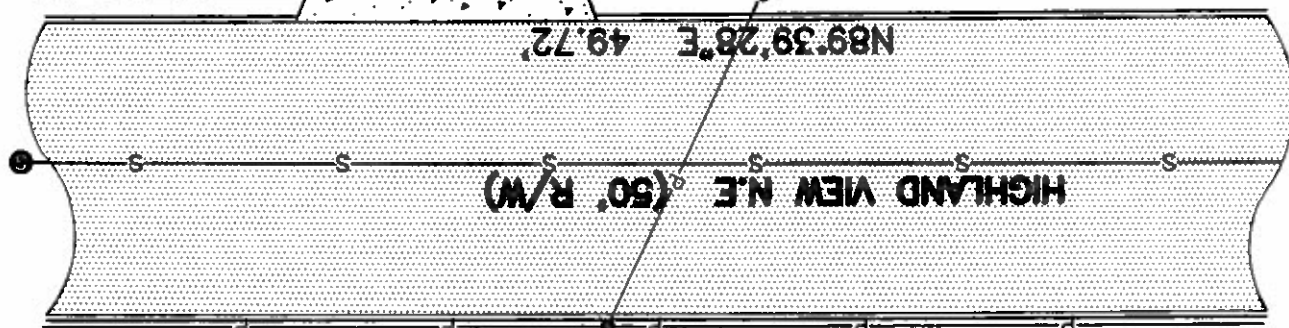
TOTAL AREA = 0.171± ACRES
OR 7,462± SQ. FT.

897 HIGHLAND VIEW N.E.
ATLANTA, GEORGIA

SURVEY FOR
BRITANNY BLASS

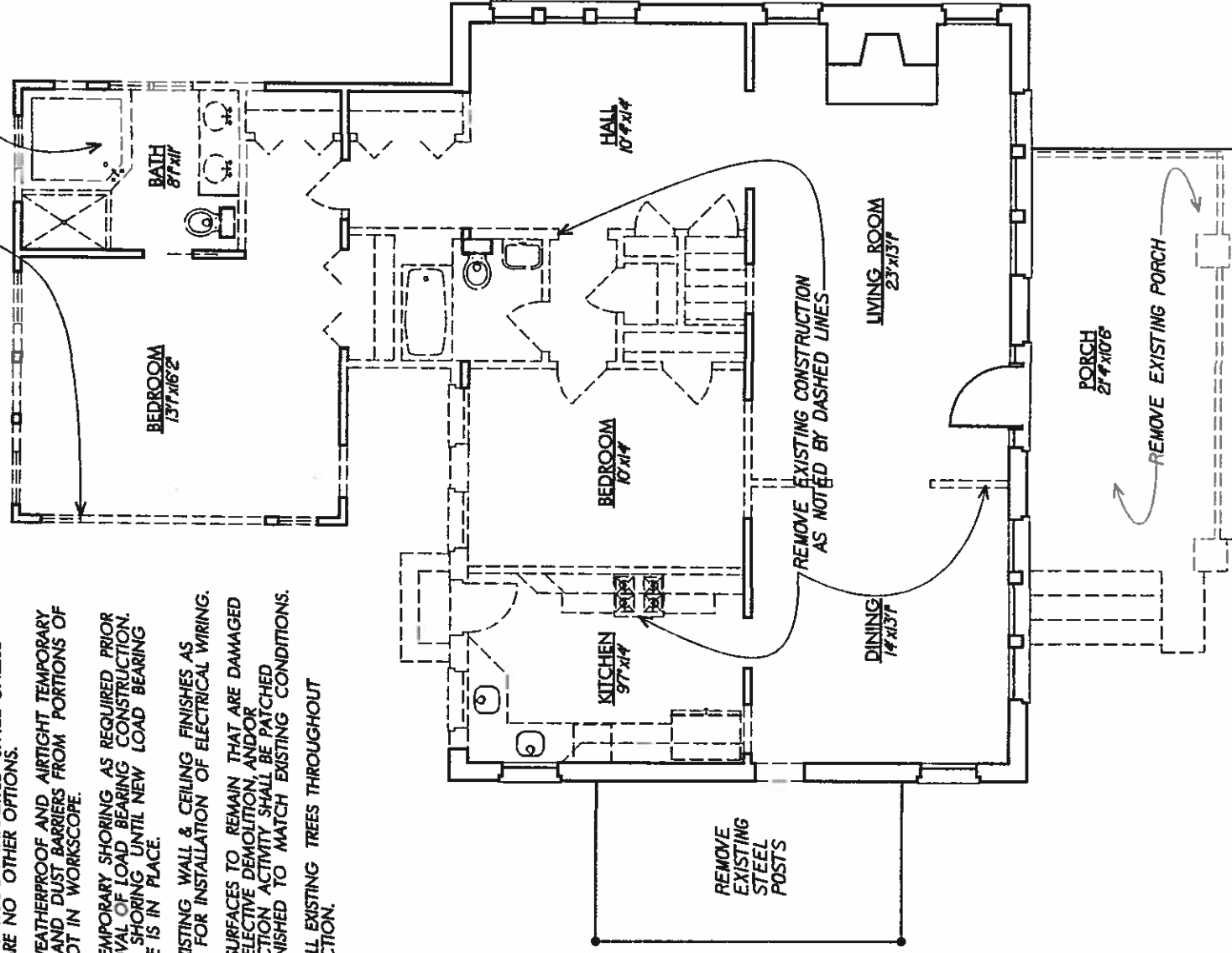
LOT 30, BLOCK "2"
HIGHLAND VIEW SUBDIVISION

LAND LOT 16
DISTRICT 14TH
FULTON COUNTY
GEORGIA
PLAT PREPARED: 9-16-16
FIELD: 9-15-16 SCALE: 1"=20'



DEMOLITION NOTES:

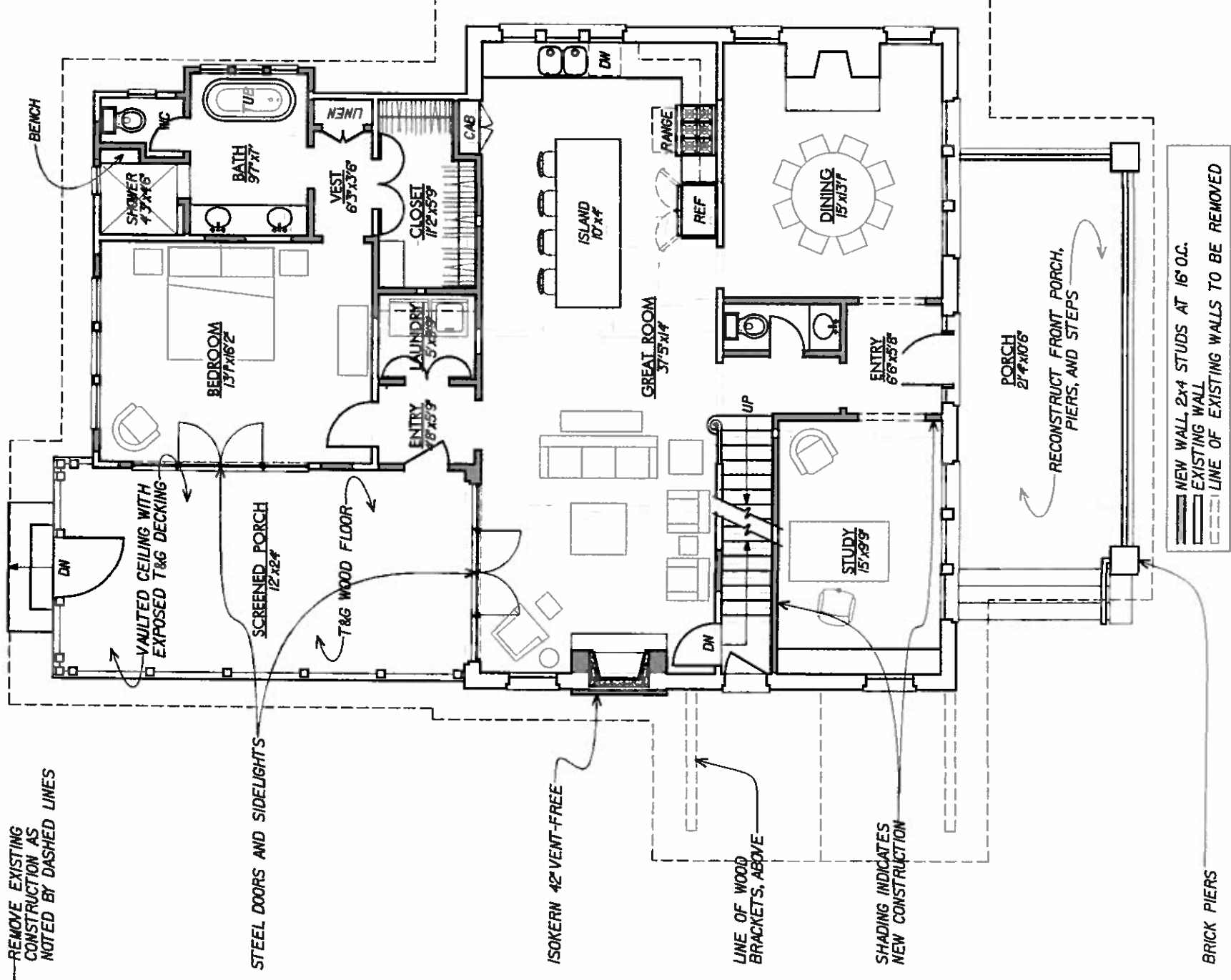
1. REMOVE EXISTING CONSTRUCTION AS REQUIRED FOR NEW WORK.
2. CONTRACTOR SHALL NOT REMOVE DEMOLITION MATERIALS THROUGH INHABITED SPACE UNLESS THERE ARE NO OTHER OPTIONS.
3. PROVIDE WEATHERPROOF AND AIRTIGHT TEMPORARY SECURITY AND DUST BARRIERS FROM PORTIONS OF HOUSE NOT IN WORKSCOPE.
4. PROVIDE TEMPORARY SHORING AS REQUIRED PRIOR TO REMOVAL OF LOAD BEARING CONSTRUCTION. MAINTAIN SHORING UNTIL NEW LOAD BEARING STRUCTURE IS IN PLACE.
5. REMOVE EXISTING WALL & CEILING FINISHES AS REQUIRED FOR INSTALLATION OF ELECTRICAL WIRING.
6. EXISTING SURFACES TO REMAIN THAT ARE DAMAGED BY AGE, SELECTIVE DEMOLITION, AND/OR CONSTRUCTION ACTIVITY SHALL BE PATCHED AND REFINISHED TO MATCH EXISTING CONDITIONS.
7. PROTECT ALL EXISTING TREES THROUGHOUT CONSTRUCTION.



01 EXISTING FIRST FLOOR PLAN
A-1.01

SCALE: 1/8" = 1'-0"

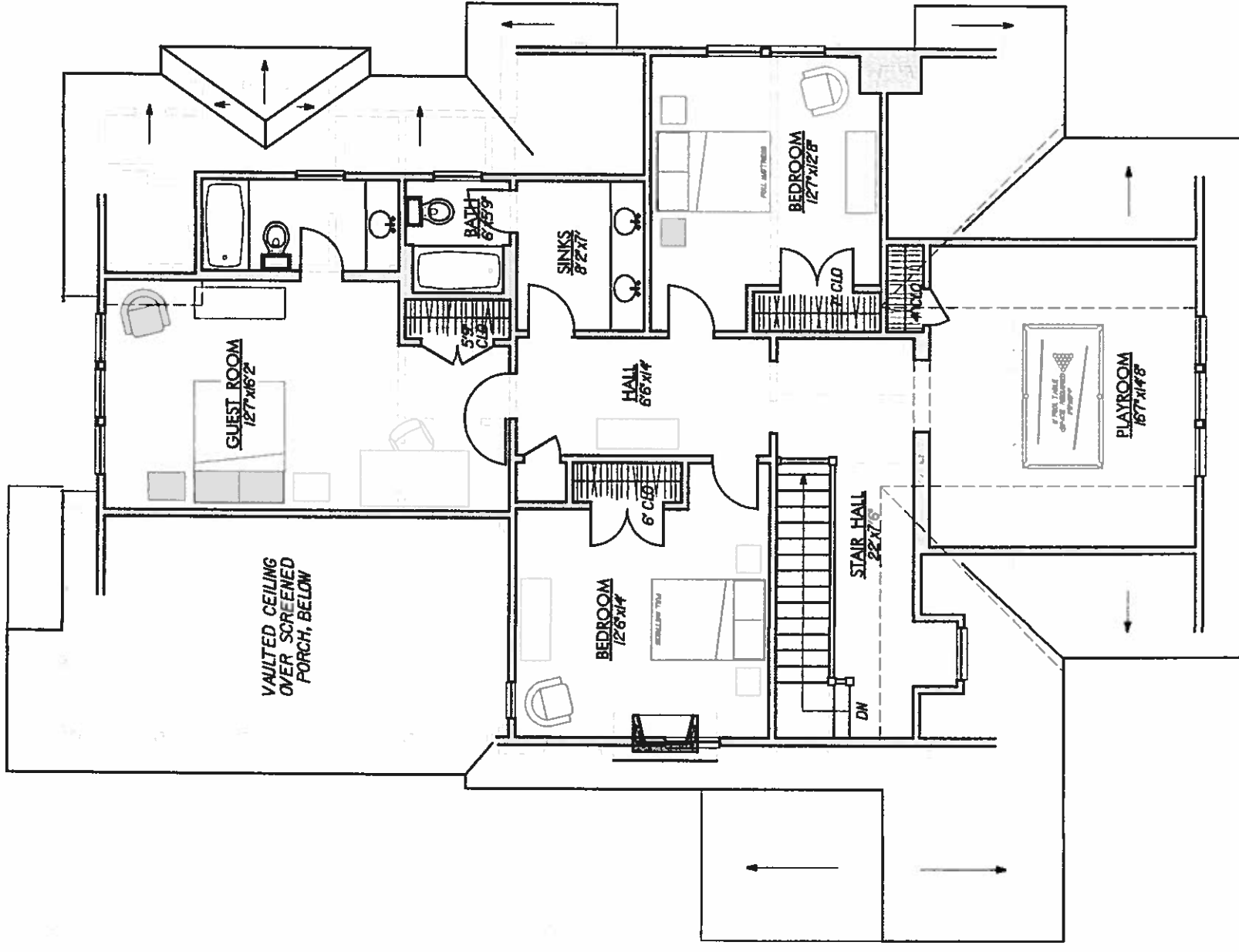
FLOOR AREA: 1,456 SF



02 PROPOSED FIRST FLOOR PLAN
A-1.01

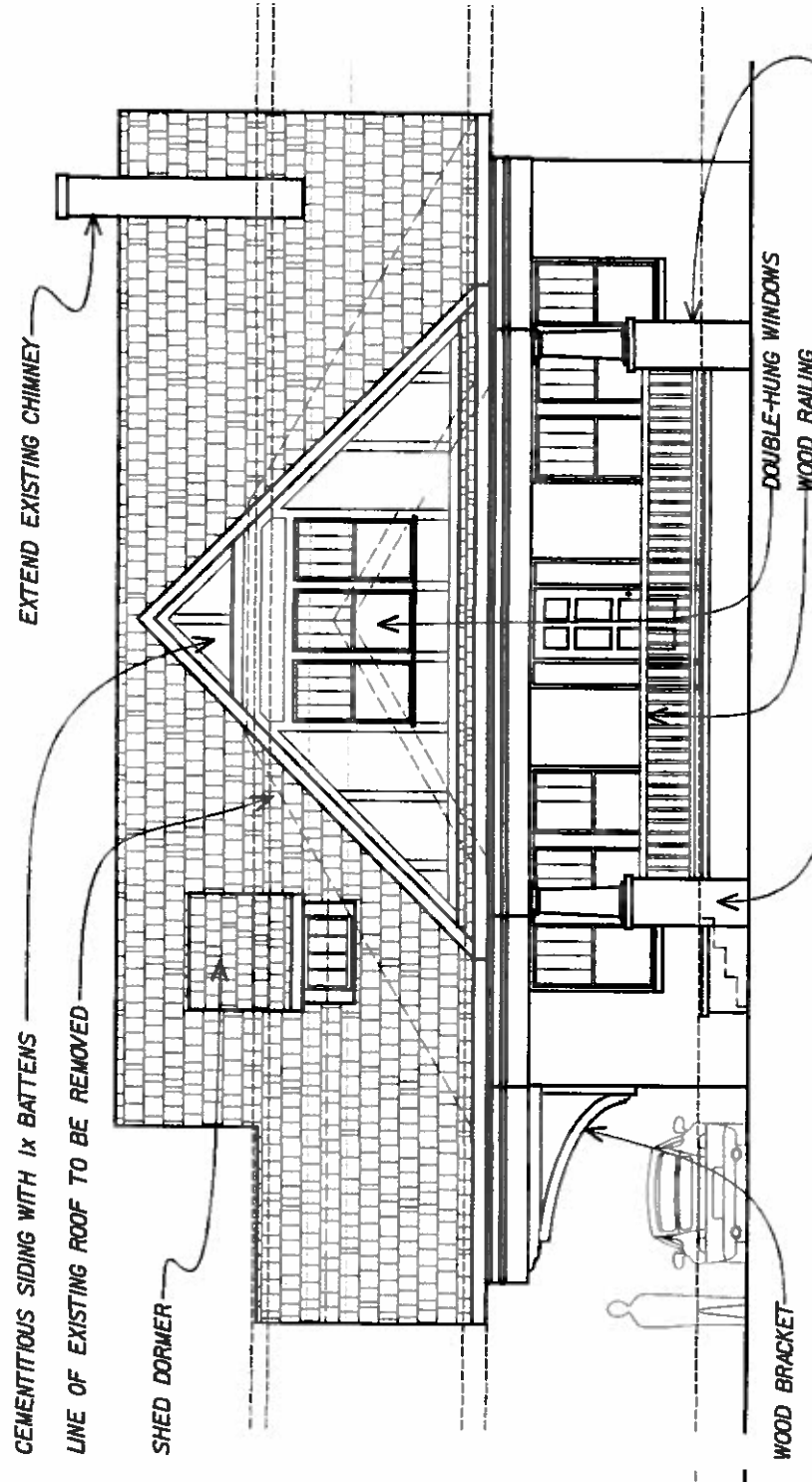
SCALE: 1/8" = 1'-0"

FLOOR AREA: 1,518 SF

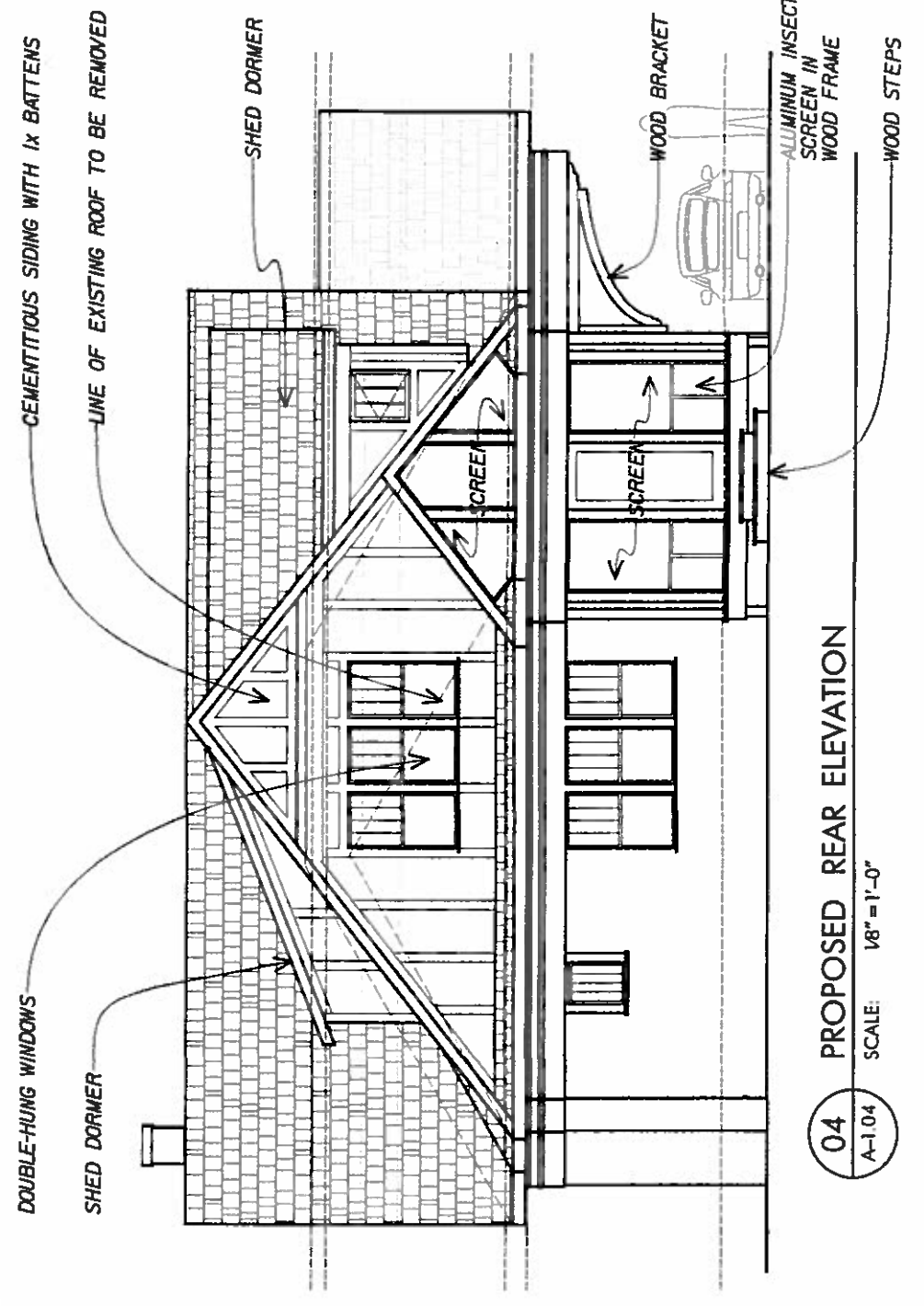


01 PROPOSED SECOND FLOOR PLAN

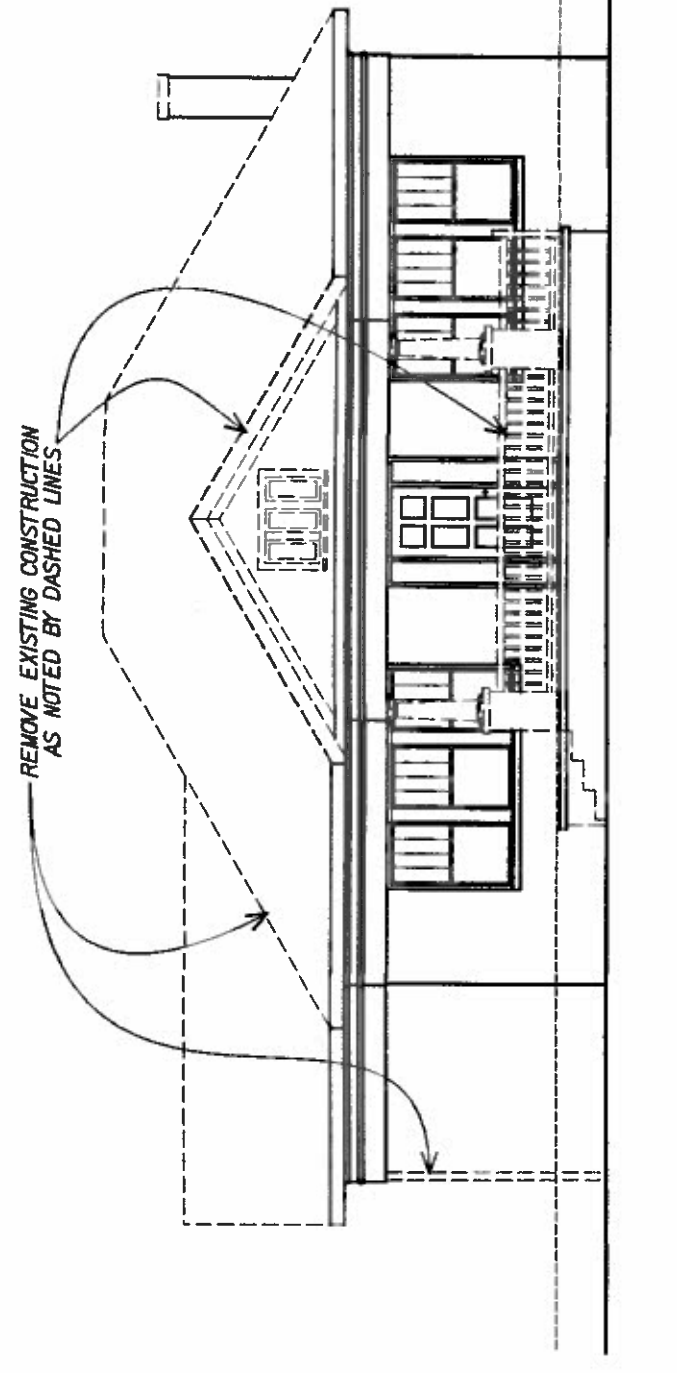
SCALE: 1/8" = 1'-0" FLOOR AREA: 1,398 SF



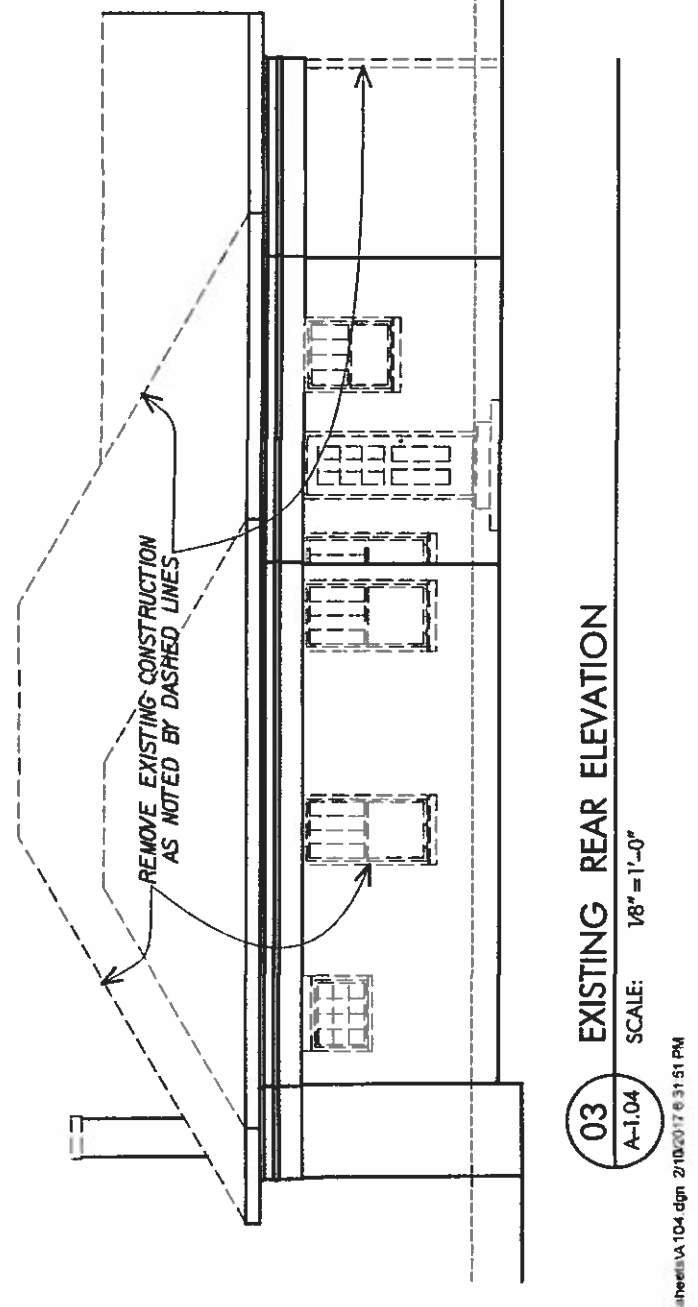
02 PROPOSED FRONT ELEVATION
 A-1.04 SCALE: 1/8" = 1'-0"



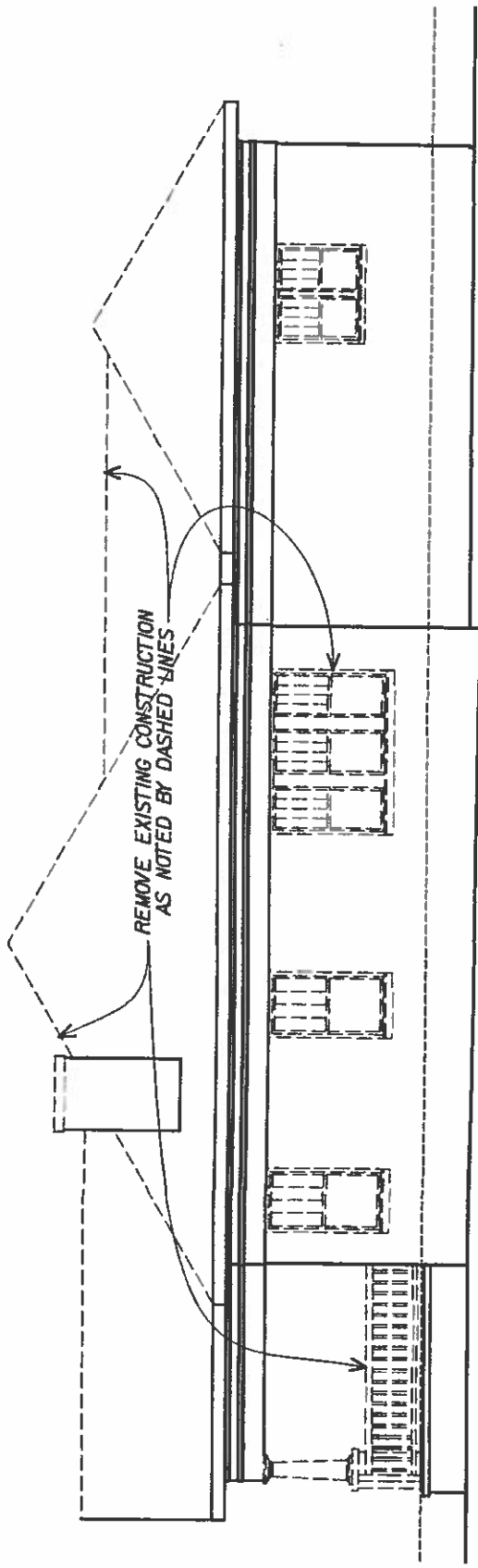
04 PROPOSED REAR ELEVATION
 A-1.04 SCALE: 1/8" = 1'-0"



01 EXISTING FRONT ELEVATION
 A-1.04 SCALE: 1/8" = 1'-0"

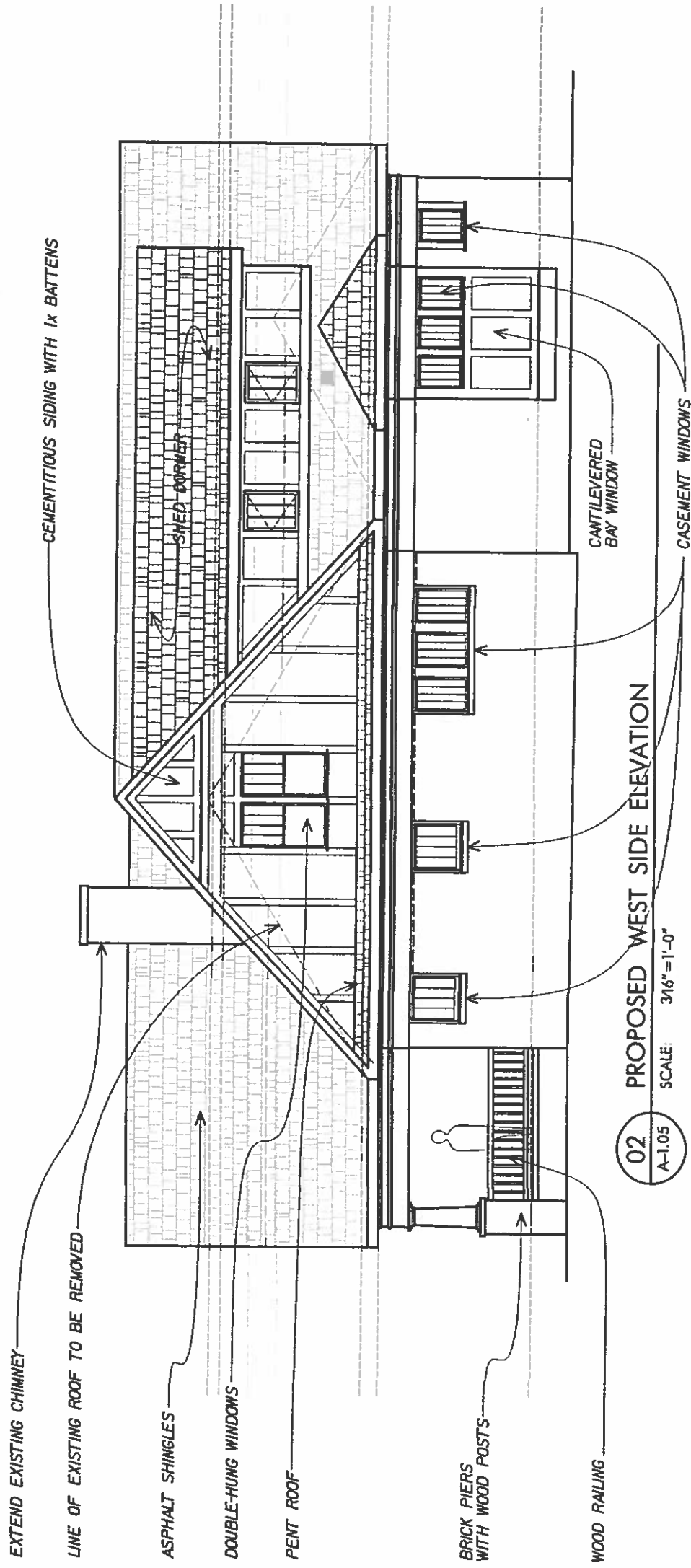


03 EXISTING REAR ELEVATION
 A-1.04 SCALE: 1/8" = 1'-0"



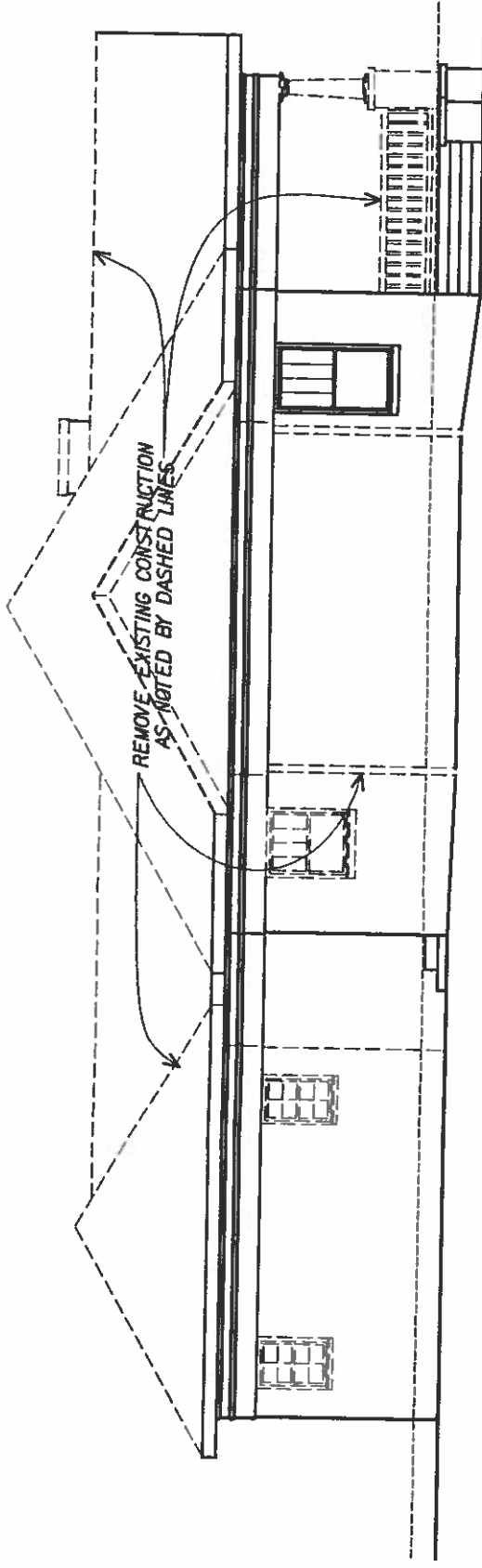
01 EXISTING EAST SIDE ELEVATION

SCALE: 1/8" = 1'-0"



02 PROPOSED WEST SIDE ELEVATION

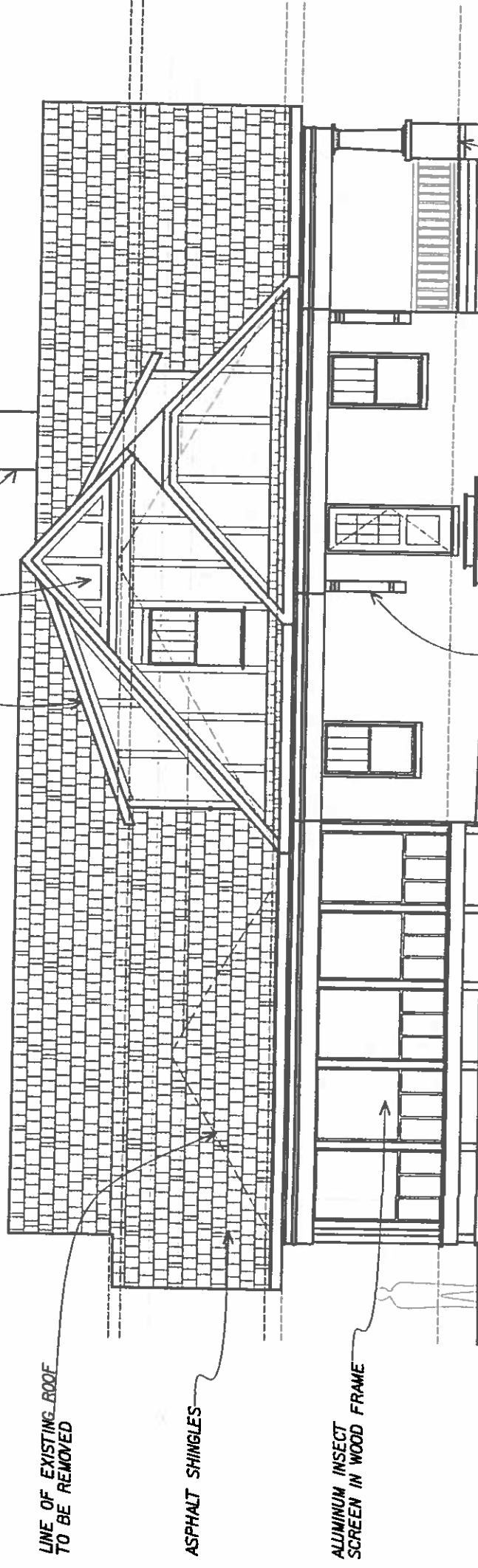
SCALE: 3/16" = 1'-0"



01 EXISTING EAST SIDE ELEVATION

SCALE: 1/8" = 1'-0"

A-1.06



02 PROPOSED EAST SIDE ELEVATION

SCALE: 3/16" = 1'-0"

A-1.06