



**OFFICE OF ZONING AND DEVELOPMENT**  
55 Trinity Avenue S.W., Suite 3350  
Atlanta, Georgia 30303  
(404) 330-6145

APPLICATION #: **V-17-311**

DATE ACCEPTED **10/24/2017**

## NOTICE TO APPLICANT

Address of Property:

**650 Virginia AVE NE**

City Council District: **6** Neighborhood Planning Unit (NPU): **F**

Board of Zoning Adjustment (BZA) Hearing Date:

**Thursday, December 14, 2017 at 12:00 p.m.**

Council Chambers, 2nd Floor, City Hall  
55 Trinity Avenue, S.W.

The contact person for NPU F is:

**Charles Naibone**  
**404-376-3230**  
**zoning@npufatlanta.org**

Contact info for adjacent NPUs is provided below if necessary:

**Additional Contacts:**

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

Signed,

RG, for Director, Office of Zoning and  
Development

Judith E. Allen



OCT 24 2017

**CITY OF ATLANTA**  
Office of Zoning and Development- Zoning Plan Review Division  
55 TRINITY AVENUE, SUITE 3350  
Atlanta, Georgia 30303  
404-330-6145

55 Trinity Ave. S.W.  
Ste. 3350  
Atlanta, GA

**REFERRAL CERTIFICATE**

COUNCIL DISTRICT 6 APPLICATION NUMBER V-17-311  
NPU F DATE FILED 10/24/2017

1. Judith E. Allen  
Name of Applicant

**BUILDING PERMIT AUTHORIZING**

New detached guest structure

at 650 Virginia AVE NE 17<sup>th</sup>/53  
Street Address Quadrant District & Land Lot

to be used for Residential purposes

The property is zoned R-4 District

2. The Building Permit Was Denied For The Following Reasons:

Applicant seeks a variance from the zoning regulation: (1) to reduce the required western side yard setback from 7 feet to 3 feet; and (2) reduce the required rear yard setback from 15 feet to 3 feet – to erect a new detached guest house.

Applicant seeks no other Variances or special exceptions.

A Complete Plan Review Was Not Conducted.

**1982 ZONING ORDINANCE, AS AMENDED**

Chapter 6 Section 16-06.008 Paragraph (2) (3)

Chapter \_\_\_\_\_ Section \_\_\_\_\_ Paragraph \_\_\_\_\_

Chapter \_\_\_\_\_ Section \_\_\_\_\_ Paragraph \_\_\_\_\_

Scott Haeblerlin 10-24-17  
Plan Reviewer Date

[Signature] 10/24/17  
Applicant Date

V-17-311

Department of City Planning  
Office of Zoning & Development  
**APPLICATION FOR BOARD OF ZONING ADJUSTMENT**

Please mark "X" next to the type of application(s) you are submitting:

OCT 24 2017

Variance	X
Special Exception	
Variance & Special Exception	

65 Trinity Ave. S.W.  
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Date Filed 10/24/17 Application Number V-17-311

Name of Applicant Judith E. Allen Daytime Phone 404 578 5865

Company Name (if applicable) \_\_\_\_\_ email \_\_\_\_\_

Address 650 Virginia Ave NE Atlanta GA 30306  
street city state zip code

Name of Property Owner Judith E. Allen Phone 404 578 5865

Address 650 Virginia Ave NE Atlanta GA 30306  
street city state zip code

**Description of Property**

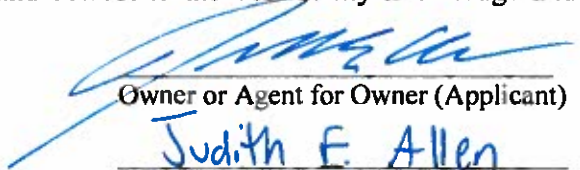
Address of Property 650 Virginia Ave NE Atlanta GA 30306  
street city state zip code

Area: \_\_\_\_\_ Land Lot: 53 District: 17<sup>th</sup>, Fulton County, GA.

Property is zoned: R4, Council District: 6, Neighborhood Planning Unit (NPU): F

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received an adverse order or requirement from the administrative officer in seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

  
Owner or Agent for Owner (Applicant)  
Judith E. Allen  
Print Name of Owner

Sworn To And Subscribed Before Me This 24 Day Of Oct 2017.

  
NOTARY PUBLIC



## SUMMARY & JUSTIFICATION FOR VARIANCES

OCT 24 2017

**Directions:** Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. The justification must address these criteria. Please submit a typewritten or legible justification.

State whether the property described in this application is subject to a pending application or ordinance for a Rezoning or Special Use Permit. \_\_\_ YES X NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor). Please provide the relevant zoning number associated with the subject property: \_\_\_\_\_.

**Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria).** (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

In-law suite - accessory structure

**Proposed Lot Coverage (After Construction):** Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

4,557 covered square feet / 9,115 total lot square feet = 49.99 % proposed lot coverage

50.00 % maximum allowed lot coverage

**Variance Criteria (see page 6 for detailed criteria):**

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? To avoid destruction of a mature 20' HW Pecan tree located in my backyard
- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? same as above - to avoid destruction of mature tree
- 3) What conditions are peculiar to this particular piece of property? same as above - to avoid destruction of mature tree.
- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. facts attached with survey



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55 Trinity Ave. S.W.  
 Sec. 03380  
 Atlanta, GA

**REFERENCE PLAT**

SURVEY BY GEORGIA LAND SURVEYING CO.  
 FOR RYAN CONWAY DATED 7/26/12  
 MORRIS CONST. CO. S/D: PG 9, PG. 93

**DEED REFERENCE**

# 650 - RYAN & MARC CONWAY CHRISTOPHER DB UZOMB, OP. 384  
 # 658 - TRAE WORTH PROPERTIES, DB SACOR, PG. 927

REVISED DATE: 10/17/2017	ADMINISTRATIVE VARIANCE SITE PLAN
PLAT DATE: 07/20/2016	FOR: JUDITH ALLEN
SURVEY DATE: 07/19/2016	ADDRESS: 650 VIRGINIA AVE.
FULTON COUNTY, GEORGIA	LAND LOT: 53 DIST. 17 TH FULTON COUNTY, GA
SCALE: 1"=20'	LOT 13 BLOCK
	NORRIS CONST. CO. S./D. PG. 9, PG. 93
	DATE: 10/17/2017
	CITY OF ATLANTA

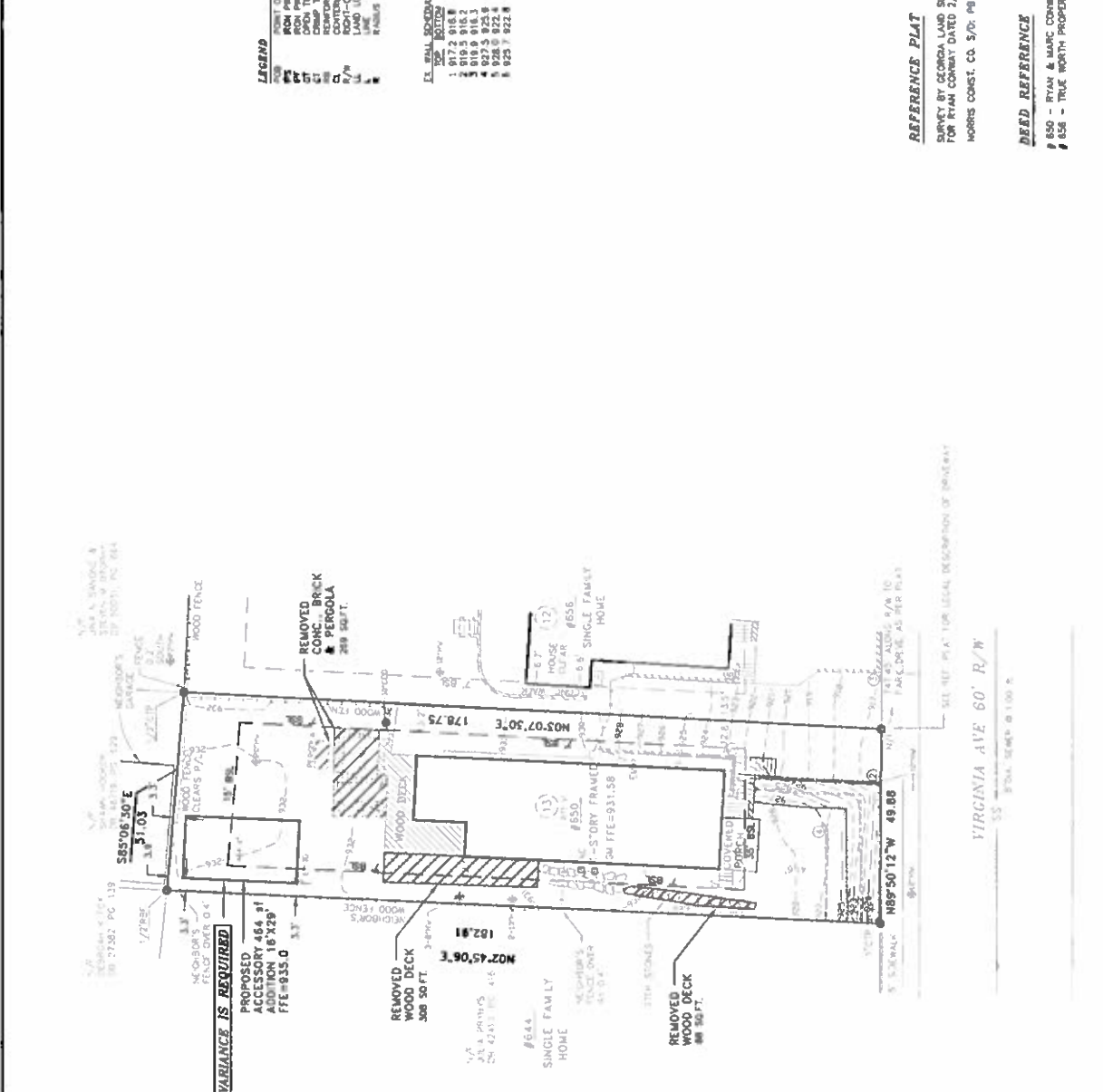


**LEGEND**

CONCRETE	CONC.
CURVE POLE	CURVE
WATER METER	WM
ELEC. METER	EM
LAMP POLE	LP
SANITARY SEWER	SS
MAIL CARRIER	MC
POST OFFICE	PO
FENCE	F

**EX. WALL SCHEDULE**

1	817.2	616.8
2	819.5	816.2
3	819.9	816.3
4	820.0	822.8
5	822.0	822.8
6	823.7	822.8



**3' VARIANCE IS REQUIRED**

PROPOSED ACCESSORY 464 sq ft ADDITION 16'x29' FFE=935.0

IMPROVEMENT AREAS	EXISTING SQ.FT.	REMOVED SQ.FT.	ADDED FINAL SQ.FT.
HOUSE	1875	0	1875
DRIVE	1360	0	1360
STAIRS	150	0	150
WALLS	128	0	128
W/DECK	613	308	305
BRICK	81	0	0
CONC.	81	81	0
PATIO	24	24	0
STEP STONE	180	80	100
TOTAL	4760	787	464

**LOT COVERAGE**

NET IMP. AREA / LOT AREA  
 4337 X 106 = 460,992  
 9,115

**FLOOR AREA RATIO**

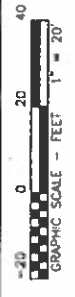
EX. HOUSE + PRO. ADDITION / LOT AREA  
 1,875 + 464 SF = 2,339  
 9,115

The survey shown herein was prepared without the benefit of a contract of this character, the undersigned and holder of this plat assume no liability for any error or omission regarding information shown herein pertaining to encumbrances, and other similar matters.

**SURVEY NOTES:**

1. BEFORE ANY CONSTRUCTION BEGINS AND BEFORE ANY UTILITIES HAVE BEEN PAID OR DIVIDED OVER, THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE TO BE VERIFIED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. EXCAVATIONS WERE MADE DURING THE PROGRESS OF THE SURVEY TO VERIFY THE LOCATION OF UTILITIES. LOCATIONS ARE BEING TO THE VARIOUS UTILITIES BEFORE CONSTRUCTION IS BEGUN. THE SURVEYOR HAS MADE NO INVESTIGATION OR INTERPRETATION FOR EASEMENTS OF RECORD, ENCUMBRANCES, OR OTHER FACTS THAT A CURRENT TITLE SEARCH MAY REVEAL. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE SURVEYOR AND HIS CLIENTS. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE EXPRESS RECONSTRUCTION OF THE SURVEYOR. THESE NOTES APPLY TO THIS PLAT AND TO ALL OTHER PLATS BY THE SURVEYOR.

This survey was prepared in conformity with the technical standards for Property Surveying established by the Board of Professional Engineers and Land Surveyors and as set forth in the Georgia Code, etc.



The field data upon which this plat is based has a closure of 1 foot in 10,000 feet, an angular error of 0.1 seconds per angle and was adjusted using the Least Squares Method. This plat has been calculated for closure and found to be accurate to 1 foot in 100,000 feet. An electronic total station and a 100' chain were used to gather the information used in the preparation of this plat. All matters pertaining to title are excepted.

**VEDDER SURVEYS & ASSOCIATES**  
 1848 Juliette Road, Forsyth, Ga. 31029  
 TELEPHONE (678) 544-2585  
 GEORGE@VEDDERSURVEY.COM

REVISIONS	BY

#24389  
Northcreek

W.L. Martin Home Designs  
for Contact Information  
www.wlmarthinhomes.com

Date	Scale 1/4" = 1'-0"
Drawn	
Job	
Sheet	1
Of	8 Sheets

This plan was designed and drafted by W.L. Martin Home Designs to meet average conditions and codes in the state of Oklahoma as the time it was designed. Because codes and regulations can change and may vary from jurisdiction to jurisdiction, W.L. Martin Home Designs cannot warrant compliance with any special code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application. This plan can be adapted to your local building codes and requirements, but also, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all applicable codes and regulations. The purchaser and/or builder of this plan retains W.L. Martin Home Designs, its owner and employees from any claims or lawsuits that may arise during the construction of this structure or any time thereafter.

V-17-311

Department of City Planning  
Office of Zoning & Development

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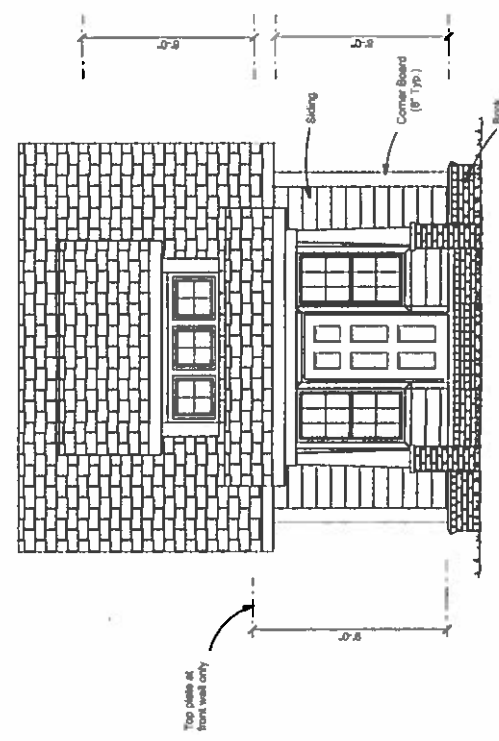
- FRAMING:**
1. Contractor to confirm the size, spacing and species of all framing and structural members to meet your local code.
  2. Any structural or framing members not indicated on the plan are to be sized by the contractor.
  3. Double floor joists under all partition walls, unless otherwise noted.
  4. All angled walls are 45 degree angles unless noted otherwise.
  5. Provide wall ties, cross-bracing and bracing as required.
  6. Provide additional bearing points as required by loading transfers.
  7. Framing in one end may vary with local codes and conditions.
  8. Block framing plan is for general layout only, do not use for rafter count.

- MISC. NOTES:**
1. Prefabricated drywall and doors are to be U.L. approved and installed per manufacturer specifications.
  2. All materials, supplies and equipment to be installed per manufacturer specifications and local codes.
  3. Provide type "X" fire-rated sheetrock on garage walls and ceilings.
  4. Confirm window openings for your local egress requirements and minimum light and venting.
  5. The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractor for exact specifications, loads and clearances.
  6. Minimum egress door and window sizes are indicated by the builder. Please contact our drafting department for information price quotes if major changes are required.

- GENERAL NOTES:**
1. Live load, 15 lbs. Dead load, 10 lbs.
  2. Roof, 30 lbs. Live load, 20 lbs. Dead load
  3. Soil bearing capacity 2000 PSF
  4. Live load, dead load, wind load, snow load, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

- CONCRETE AND FOUNDATIONS:**
1. All slabs on grade shall be 4 inch 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
  2. All slabs on grade shall bear on four inch compacted granular fill with 6 by 6 10-10 welded wire mesh.
  3. Interior slabs shall have 6 mil. polyethylene vapor barrier underneath.
  4. Provide proper expansion joints and control joints as per local requirements.
  5. Foundation details may vary with local codes and conditions, verify with contractor or engineer.
  6. Provide foundation access and vents as required by local codes and conditions.
  7. Foundation wall and footing sites reinforcing must conform with your local building requirements.
  8. Foundation walls are not to be backfilled until house is completely framed and roof is in place.
  9. Verify depth of footings with your local codes.
  10. Provide termite protection as required by HUD minimum property standards.

- BASEMENT:**
1. Basement stairs are calculated as 10 inch treads with 1 inch nosing (11 inch total) and 7.75 inch runs.
  2. Water heater and air conditioner may be located in basement when using basement option.
  3. Provide sump pumps as required.
  4. Provide concrete floor in garage area.
  5. Provide venting as local codes and conditions dictate.

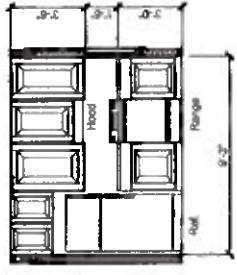
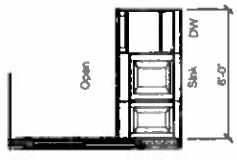


FRONT ELEVATION

K17-311  
 Department of City Planning  
 Office of Zoning & Development

OCT 24 2017

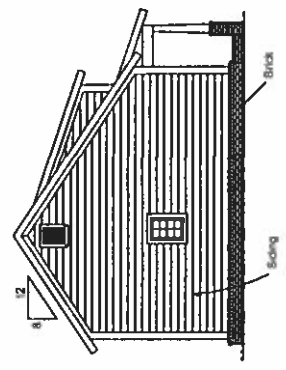
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 Atlanta, GA



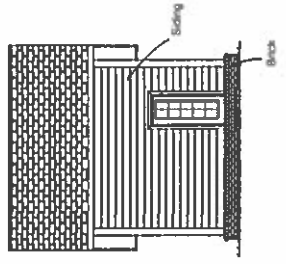
**ELEVATION B** 1/4" = 1'-0"

**ELEVATION A** 1/4" = 1'-0"

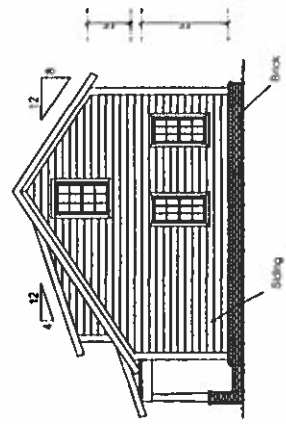
Selections to be made for Cabinet Style, Color, and Hardware



**LEFT SIDE ELEVATION** 1/8" = 1'-0"



**REAR ELEVATION** 1/8" = 1'-0"



**RIGHT SIDE ELEVATION** 1/8" = 1'-0"

REVISIONS	BY

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*W.L. Martin Home Designs*  
 for Contact Information  
 www.wlartinhome.com

Date	
Scale	Noted
Drawn	
Job	
Sheet	2
Of	8 Sheets

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www.wlmarthomes.com

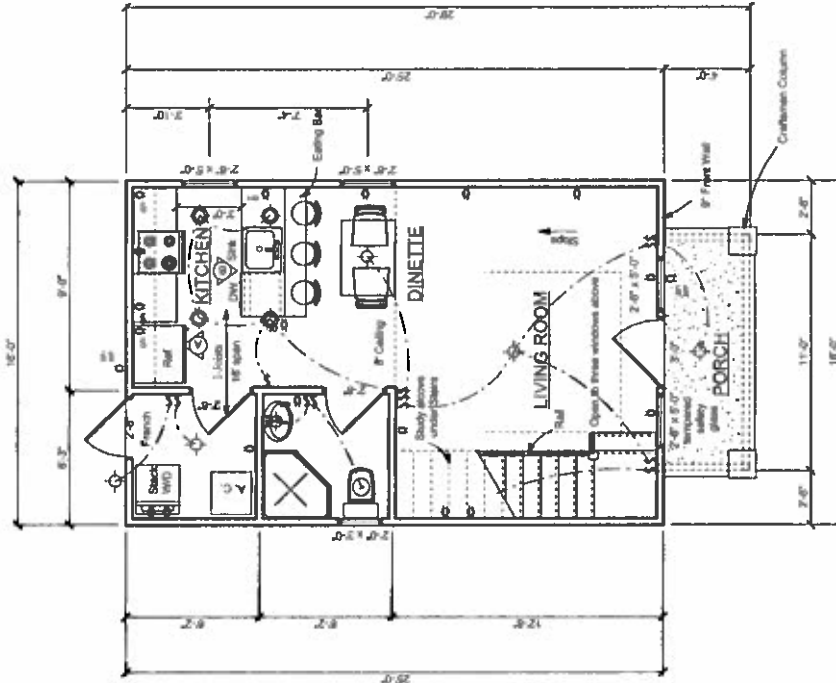
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Of	8 Sheets

K-17-311

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Office of Zoning & Development

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- Notes:
1. A/C May be Relocated as Required by Mechanical Contractor.
  2. Builders Choice on 6" Plumb Wall Locations.
  3. Coordinate Floor Truss Chases with Mechanical Contractor.
  4. Provide Safety Glass where Required by Local Code.

### 1st Floor Plan

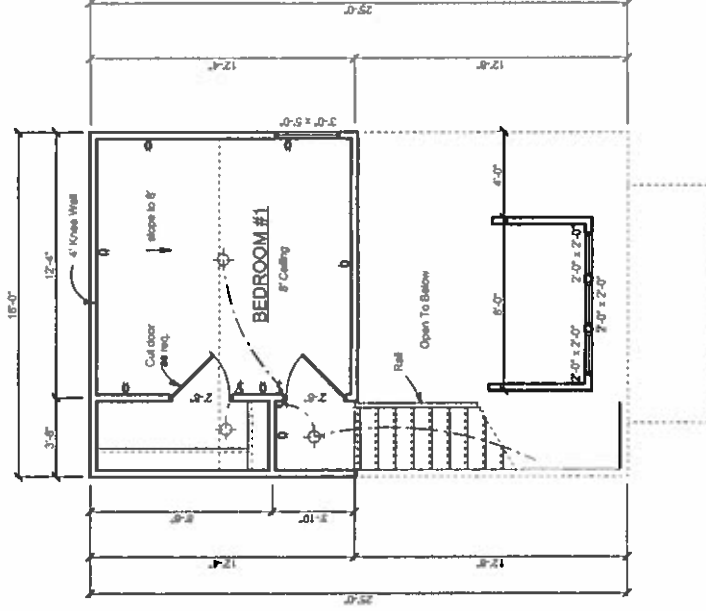
600 Sq Ft First Floor  
197 Sq Ft Second Floor  
597 Sq Ft Total HC  
44 Sq Ft Front Porch



K-17-31  
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 Office of Zoning & Development

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2nd Floor Plan

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Date	
Scale	1/4" = 1'-0"
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Job	
Sheet	4
Of	8 Sheets

W.L. MARTIN HOME DESIGNS DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THIS SET OF PLANS. BEFORE CONSTRUCTION THE CONTRACTOR, ENGINEER, OR ARCHITECT MUST CHECK DIMENSIONS AND LOADING, AND VERIFY THAT THESE PLANS COMPLY WITH ALL BUILDING CODES IN EFFECT AT CONSTRUCTION LOCATION.

**Department of Planning**  
Office of Zoning & Development

OCT 24 2017

1/2" PLYWOOD SHEATHING @ 16" C/C  
H CLIPS

2 X 8 RAFTERS @ 24" C/C (OPTIONAL ROOF TRUSSES TO MANU DESIGN)

BUILDING STRAPPING PER LOCAL CODE (TYPICAL)

EAVE DRIP  
8" FASCIA  
VENTED SOFFIT  
FRIEZE BOARD

CORNICE DETAIL S MAY VARY  
SEE FRONT ELEVATION

TYPICAL 2X4 SIDING EXTERIOR WALL  
SHEATHING  
2X4 STUDS @ 16" C/C (BRACE AS NEEDED)  
R-13 INSULATION  
1/2" GYPSUM BOARD

BUILDING STRAPPING PER LOCAL CODE (TYPICAL)

WEEP VENTS EVERY 3RD BRICK

SEE FOUNDATION DETAIL SHEET

### TYPICAL BUILDING SECTION

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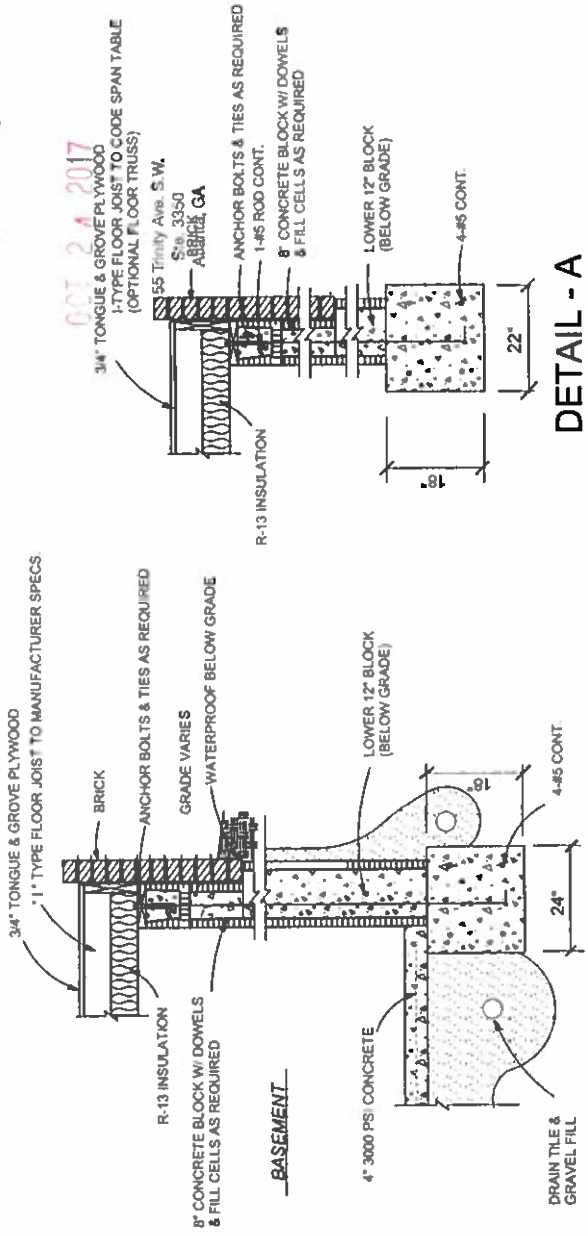
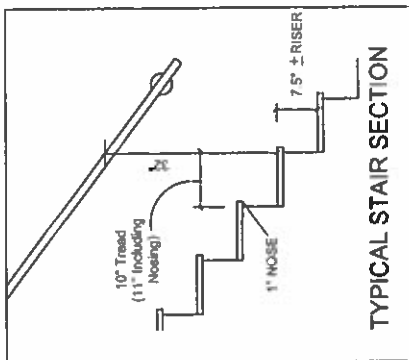
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Date	
Scale	Noted
Drawn	
Job	
Sheet	5
Of	8 Sheets

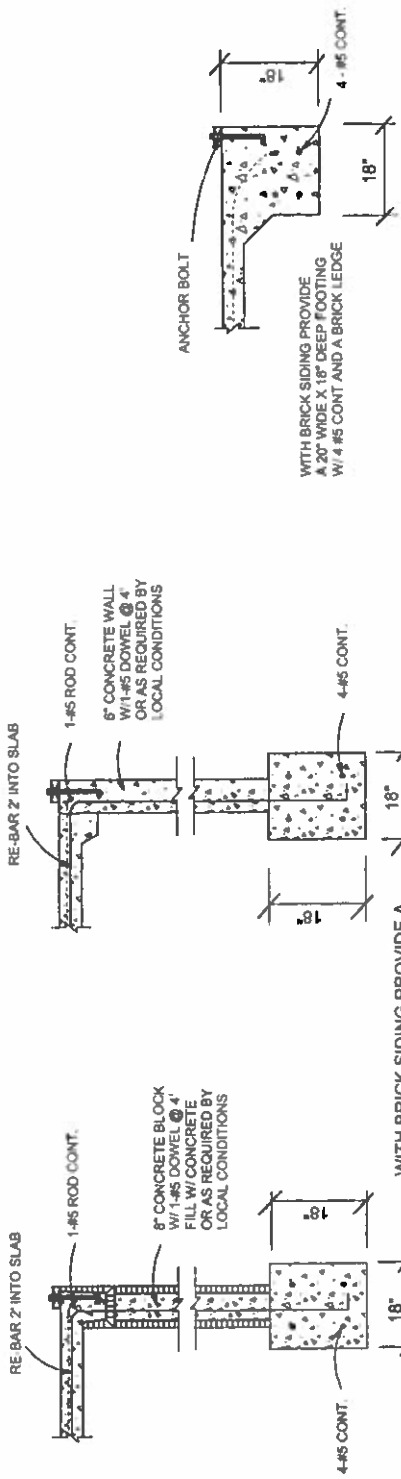
NOTE: ALL STRUCTURAL MEMBERS MUST COMPLY W/ LOCAL BUILDING CODES.

NOTE: SEE ADDITIONAL NOTES ON FRONT ELEVATION SHEET. Department of Civil Engineering  
Office of Zoning & Development



DETAIL - A

OPTIONAL BASEMENT SECTION



DETAIL - B

DETAIL - C

DETAIL - D

2 STORY FOUNDATION DETAILS (OPTIONS)

- NOTES:
- WALLS ABOVE 4'-0" FROM FINISH GRADE MAY REQUIRE ADDITIONAL STRUCTURAL SIZING, SEE ENGINEER (FOOTING SIZE & RETAINING WALL REQ.)
  - FOOTING DETAILS MAY VARY IN REQUIREMENTS, IN YOUR AREA, VERIFY WITH CONTRACTOR OR ENGINEER.
  - CONCRETE FLOOR TO BE 8" MINIMUM ABOVE FINISH GRADE.
  - PROVIDE COMPACTED SAND FILL AS REQUIRED UNDER FOOTINGS.

W. L. MARTIN HOME DESIGNS DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THIS SET OF PLANS. BEFORE CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LOADINGS, AND VERIFY THAT THESE PLANS COMPLY WITH ALL BUILDING CODES IN EFFECT AT CONSTRUCTION LOCATION.

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Date	
Scale	
Drawn	
Job	
Sheet	6
Of	8
Sheets	

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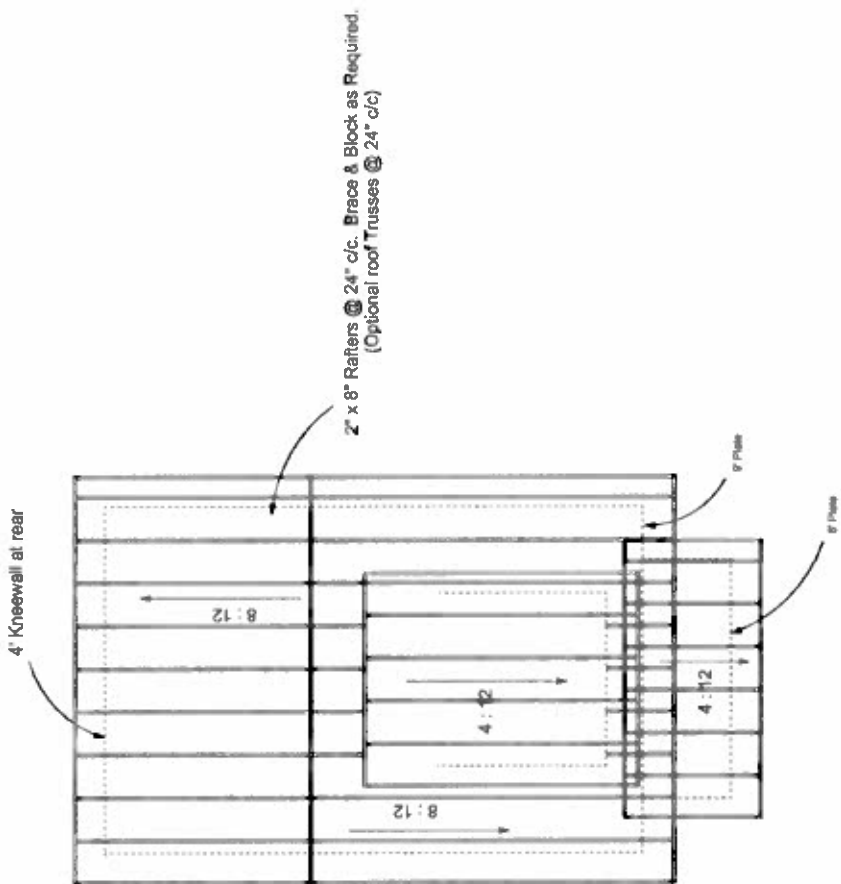
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Job
Sheet 7
Of 8 Sheets

V-17-311

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Office of Zoning & Development

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Roof Plan

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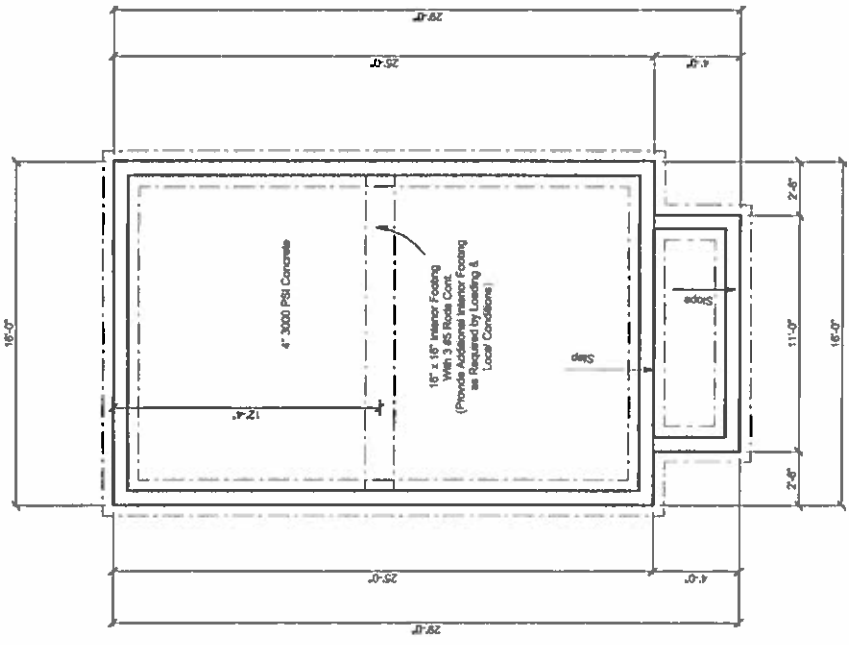
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Job	
Sheet	8A
Of	8 Sheets

V-17-211

Department of City Planning  
Office of Zoning & Development

OCT 24 2017

65 Trinity Ave. S.W.  
S/e. 3350  
Atlanta, GA



Slab Foundation Plan



V-17-311

Department of City Planning  
Office of Zoning & Development

# AUTHORIZATION BY PROPERTY OWNER

(Required only if the applicant is not the owner of the property subject to the proposed application.)

(Please print clearly. Must be the original document. A copy will not be accepted.)

I, Judith E. Allen (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT 650 Virginia Ave NE (PROPERTY ADDRESS), AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

**NAME OF APPLICANT:**

LAST NAME Allen FIRST NAME Judith  
ADDRESS 650 Virginia Ave NE SUITE \_\_\_\_\_  
CITY Atlanta STATE GA ZIP CODE 30306

OWNER'S TELEPHONE NUMBER: 404 578 5865

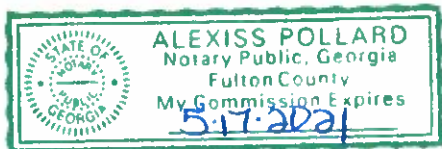
[Signature]  
SIGNATURE OF OWNER

Judith E. Allen  
PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]  
NOTARY PUBLIC

10-24-17  
DATE



RECEIPT

CITY OF ATLANTA  
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT  
55 TRINITY AVE SW, ATLANTA GA 30303  
404-330-6070

PAID  
CITY OF ATLANTA  
OCT 24 2017  
EX OFFICIO MUNICIPAL  
REVENUE COLLECTOR  
*[Signature]*

Application: V-17-311  
Application Type: Planning/BZA/Variance/NA  
Address: 650 VIRGINIA AVE NE, ATLANTA, GA 30306  
Owner Name: HINSON DOYLE CHARLES  
Owner Address:  
Application Name:

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
547996		\$100.00	10/24/2017	BSIMMONS		

Owner Info.: HINSON DOYLE CHARLES

Work Description: Variance to reduce the required western side yard setback from 7 feet to 3 feet; and (2) to reduce the required rear yard setback from 15 feet to 3 feet- to erect a new detached guest house.